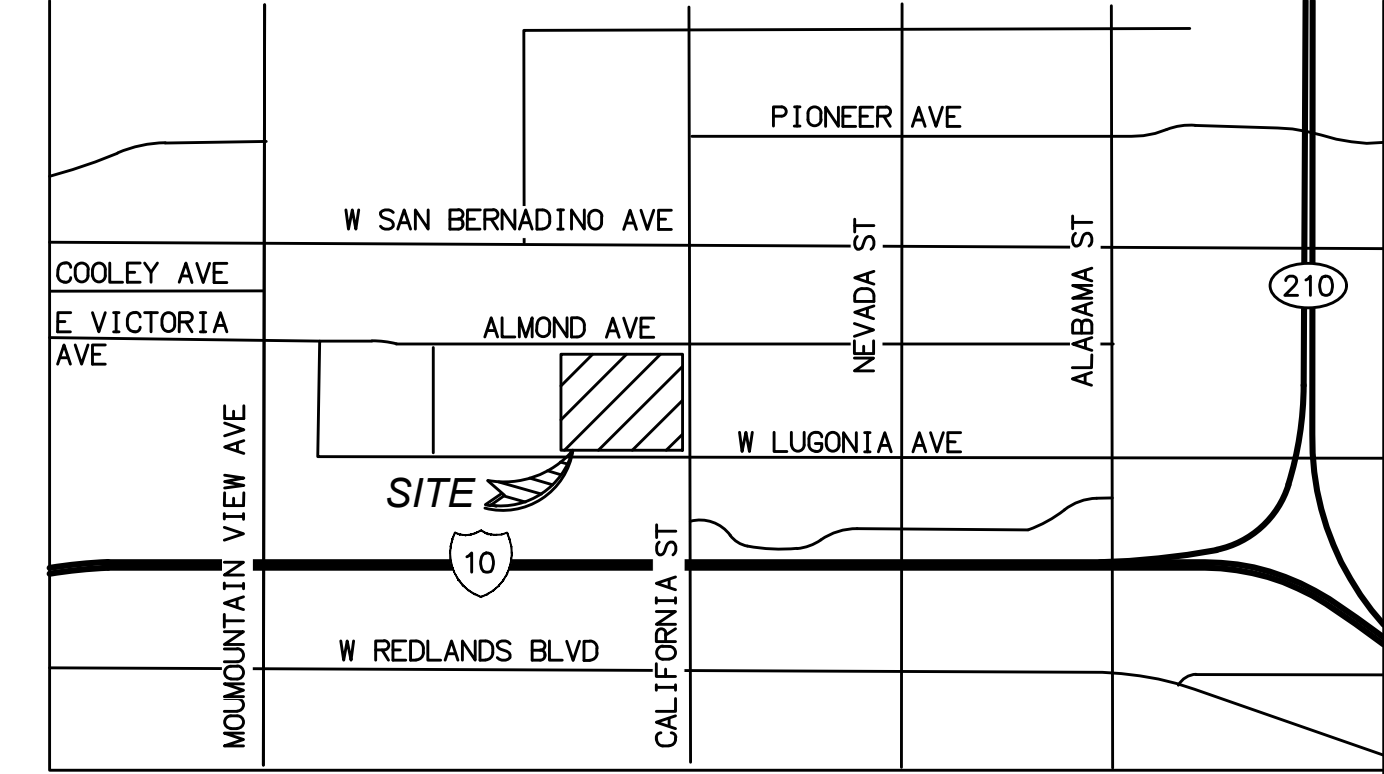


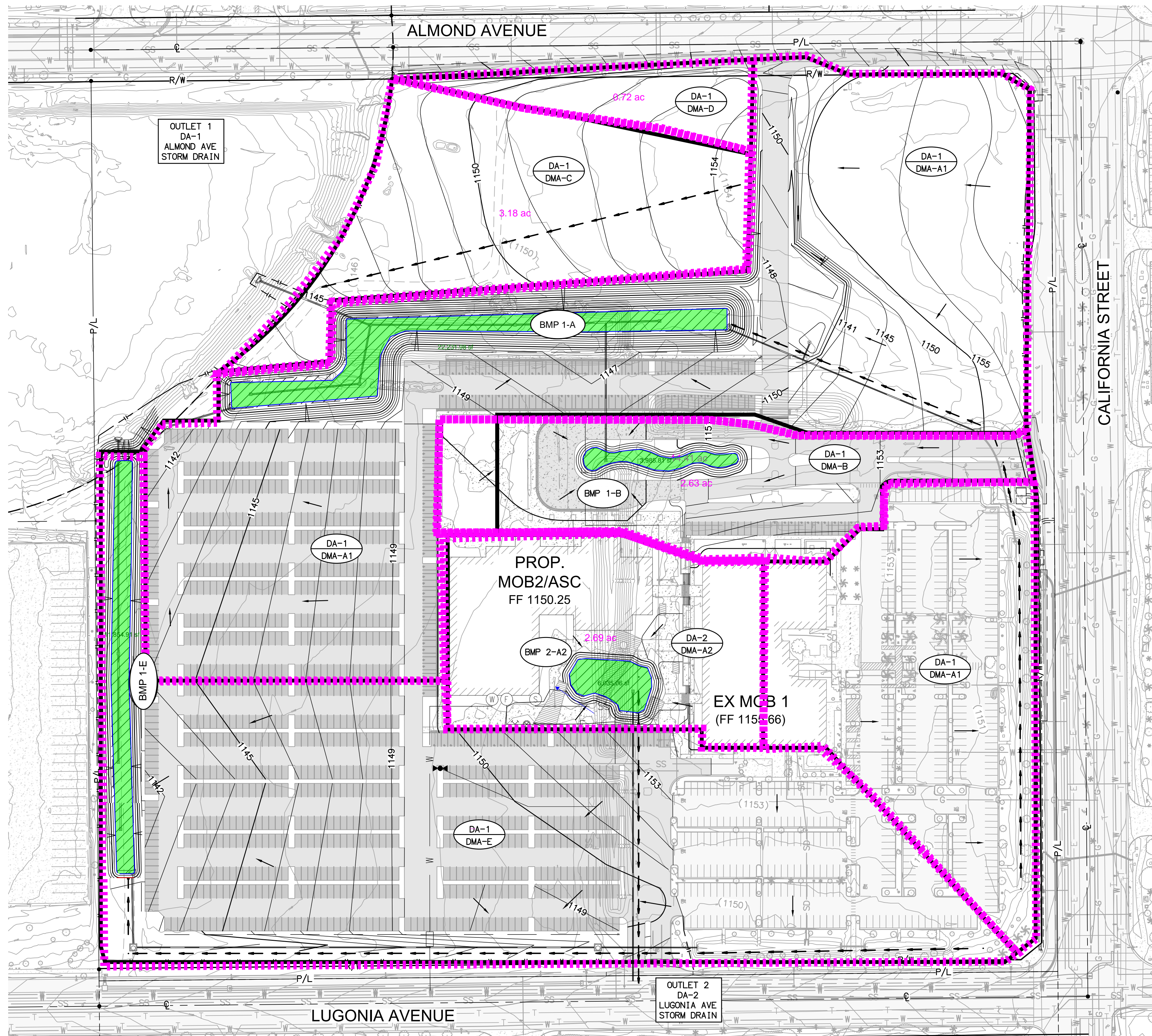
Appendix A

Vicinity Map and WQMP Exhibit

PHASE 1 BMP Plan

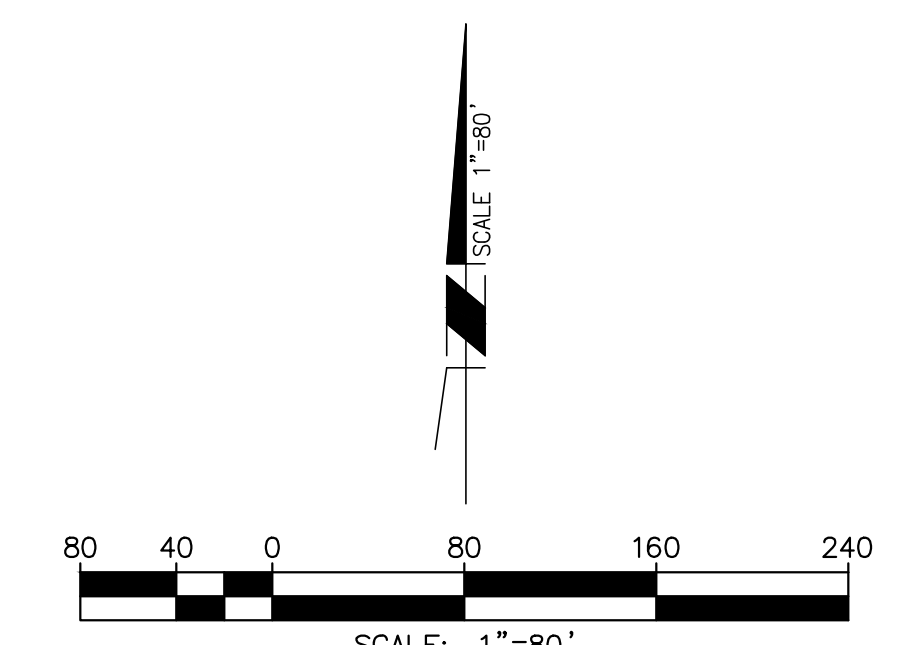


VICINITY MAP
N.T.S.



TYPICAL BIO-RETENTION BASIN DETAIL
SCALE: NOT TO SCALE

DA	DMA	TOTAL AREA (SF)	IMPERVIOUS RATIO	DMA RUNOFF FACTOR	DESIGN CAPTURE VOLUME (CF)	BMP PROPOSED SURFACE AREA (SF)	VOLUME RETAINED BY BMP (CF)	BMP TYPE
1	A1	627,670	70%	0.49	35,967	22,232	51,689	BIORETENTION WITH NO UNDERDRAIN
1	B	114,563	85%	0.66	8,790	4,200	9,765	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)
1	C	138,521	0%	0.04	643	N/A	N/A	SELF TREATING (NO EXISTING OR PROPOSED IMPERVIOUS AREA)
1	D	31,363	0%	0.04	146	N/A	N/A	SELF TREATING (NO EXISTING OR PROPOSED IMPERVIOUS AREA)
1	E	412,513	85%	0.66	31,649	14,000	32,550	BIORETENTION WITH NO UNDERDRAIN
2	A2	117,176	85%	0.66	8,990	6,035	14,031	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)



**SITE PHASING - 1
BMP PLAN**

SEPTEMBER 09, 2022

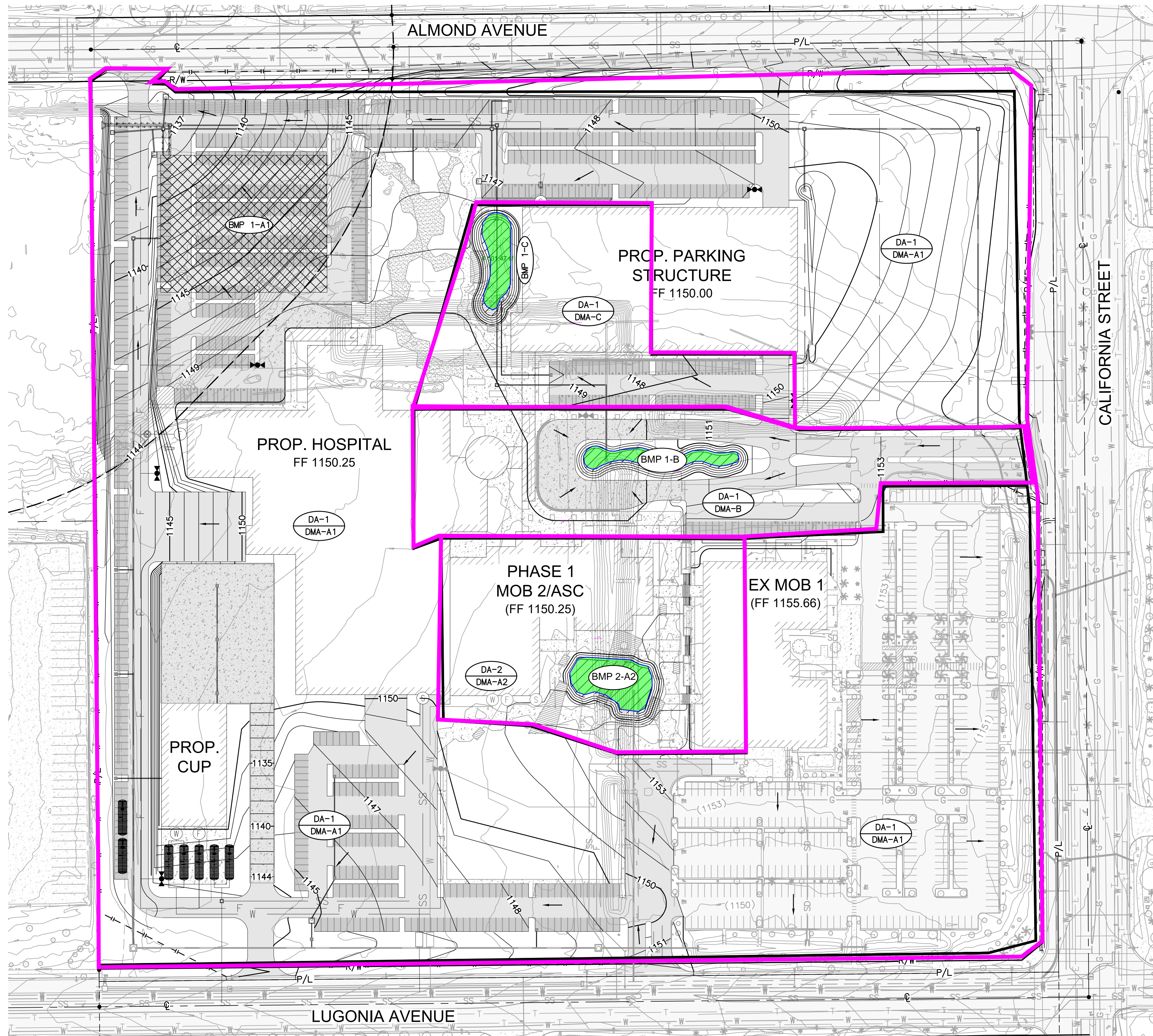


REDLANDS MEDICAL CENTER

Sheet: **C2.03**

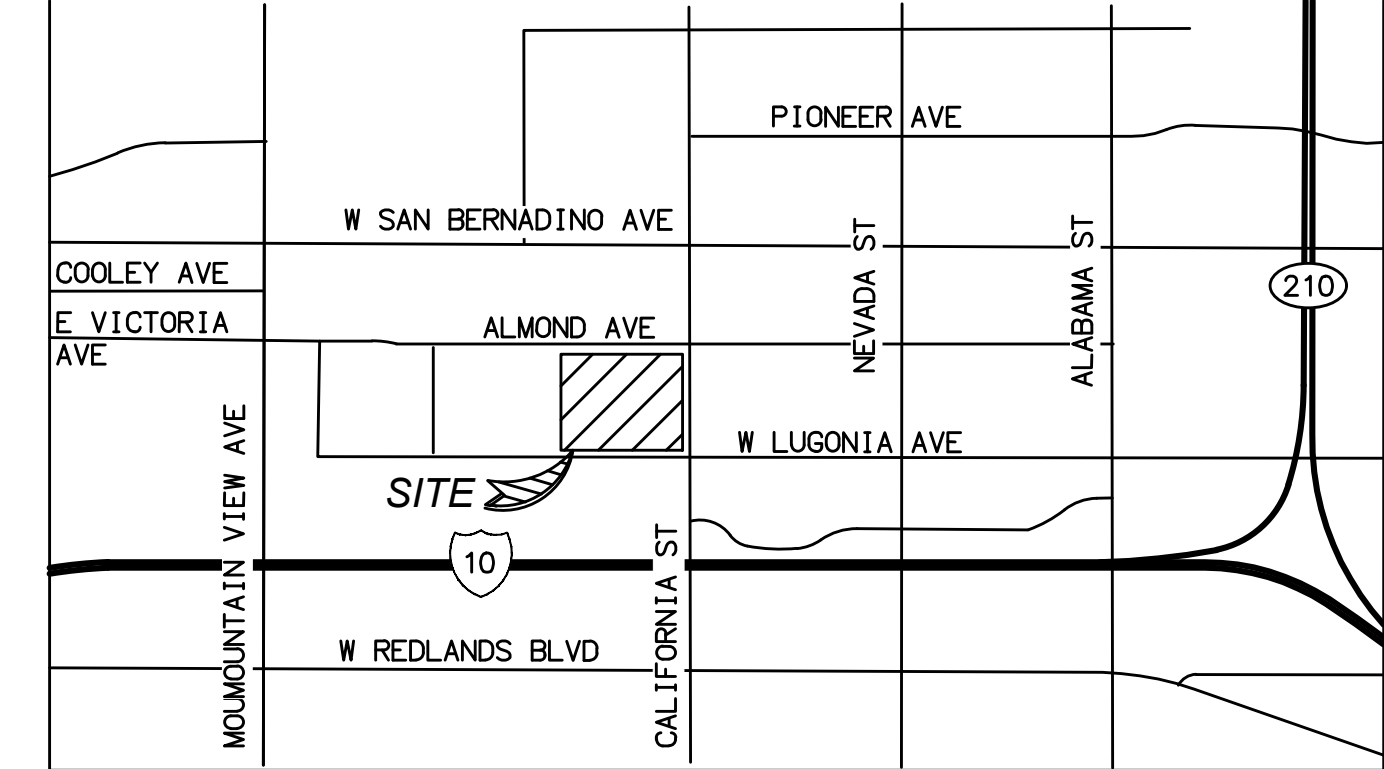
CITY OF REDLANDS

Site Development Plan Number:
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 393 E. Walnut Street Pasadena, CA 91108
 ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect) LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
 ZONE: CR ZONE

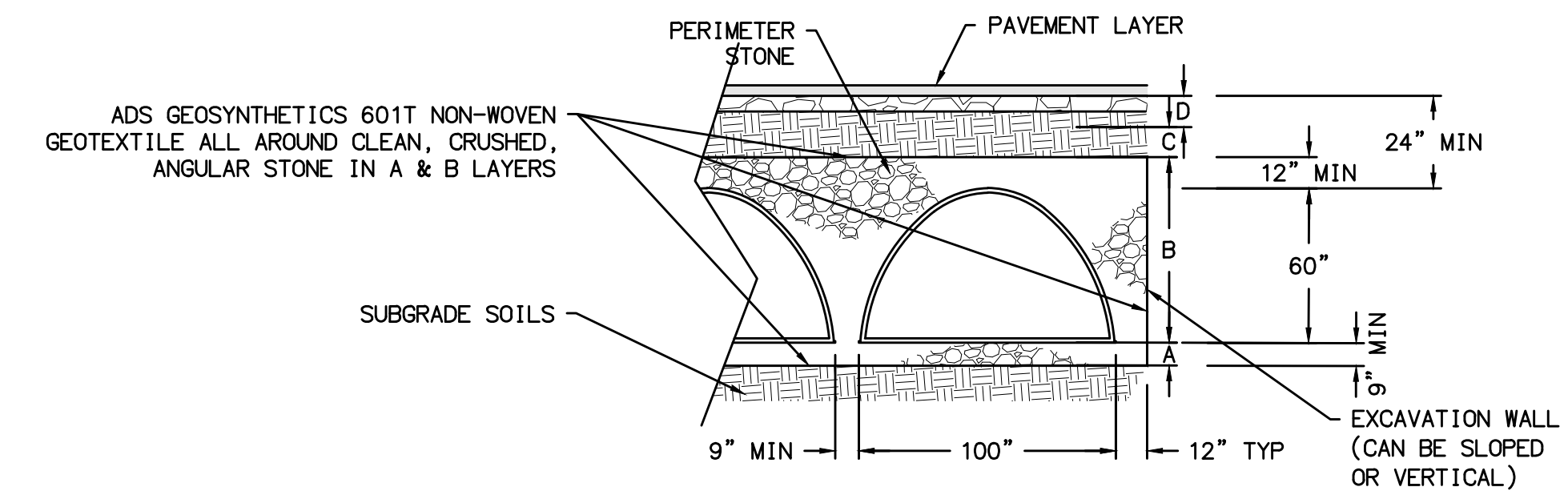


LEGEND

- STORM WATER BASIN
- UNDERGROUND INFILTRATION CHAMBERS
- DRAINAGE BOUNDARY
- FLOW ARROW
- FLOW DIRECTION
- DMA/DA ID
- BMP ID



VICINITY MAP
N.T.S.

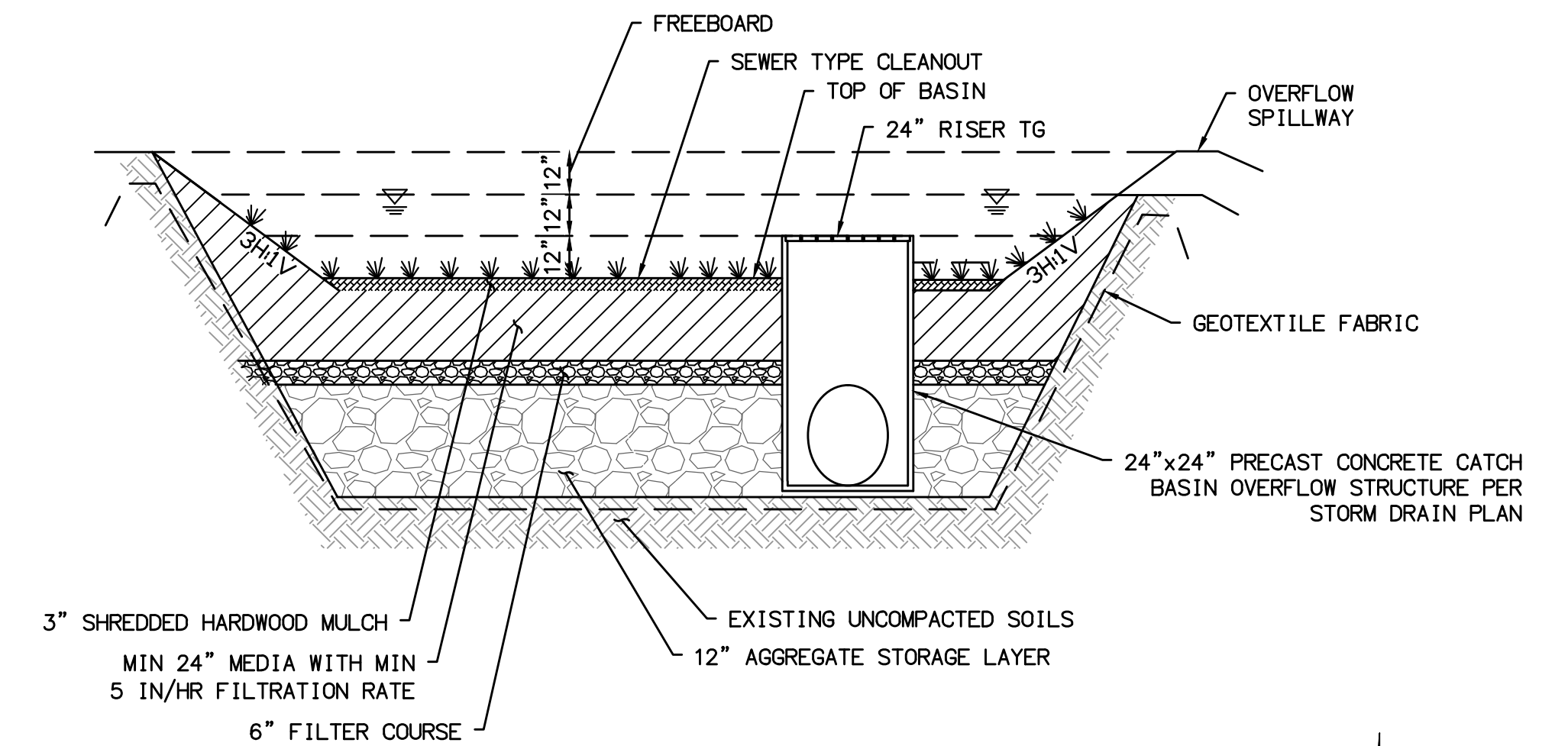


NOTES:

1. SECTION A - FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER
2. SECTION B - EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.
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TYPICAL UNDERGROUND ADS STORMWATER CHAMBER INFILTRATION DETAIL

SCALE: NOT TO SCALE

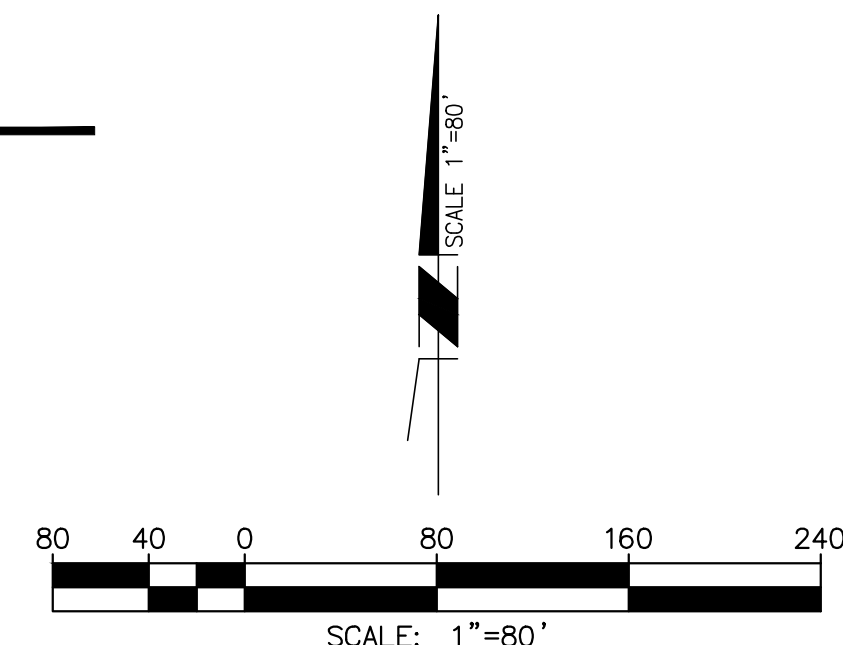


TYPICAL BIO-RETENTION BASIN DETAIL

SCALE: NOT TO SCALE

DA	DMA	TOTAL AREA (SF)	IMPERVIOUS RATIO	DMA RUNOFF FACTOR	DESIGN CAPTURE VOLUME (CF)	BMP PROPOSED SURFACE AREA (SF)	VOLUME RETAINED BY BMP (CF)	BMP TYPE
1	A1	1,197,394	85%	0.66	91,866	43,500	92,438	UNDERGROUND INFILTRATION (SIZED FOR ULTIMATE PHASE 4)
1	B	126,200	85%	0.66	9,682	4,200	9,765	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)
1	C	109,300	85%	0.66	8,386	4,000	9,300	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)
2	A2	152,000	85%	0.66	11,662	6,035	14,031	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)

PHASE 2 BMP Plan



**SITE PHASING - 2
BMP PLAN**

SEPTEMBER 09, 2022

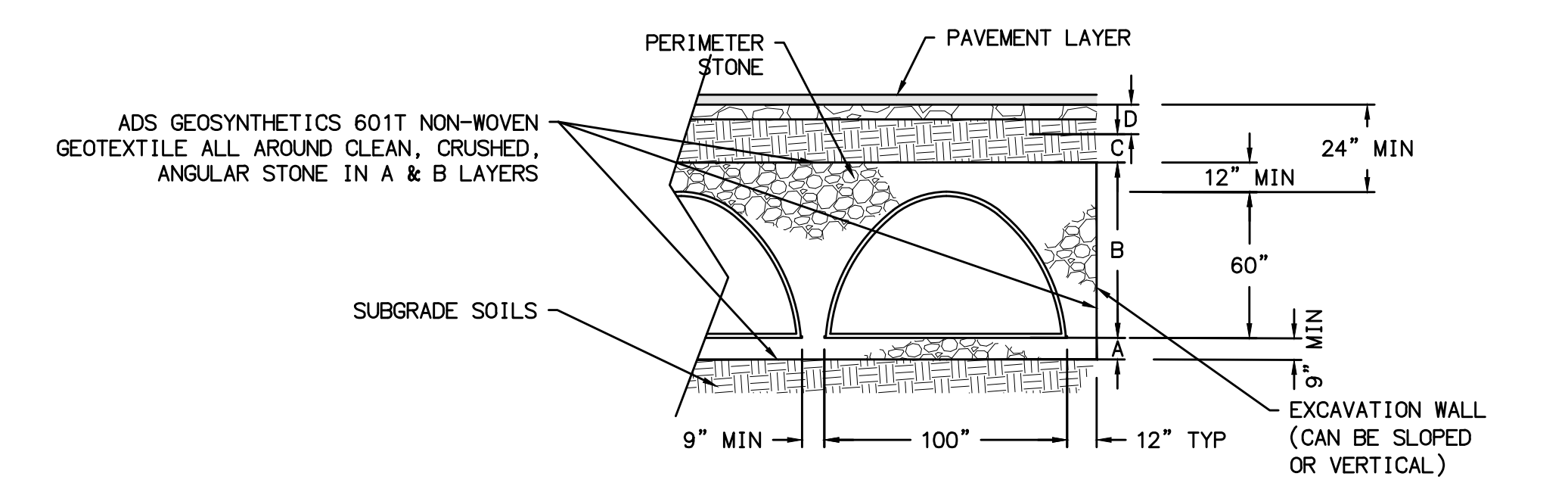
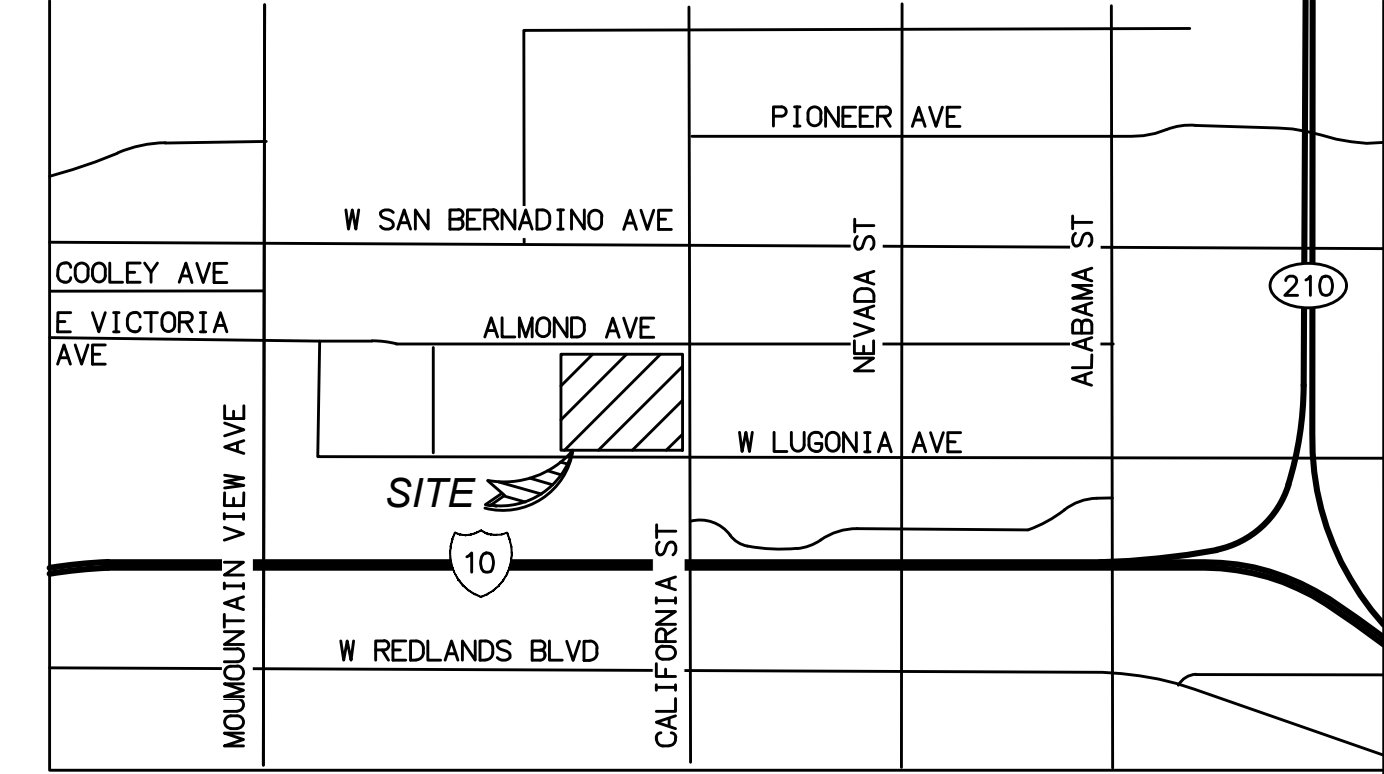
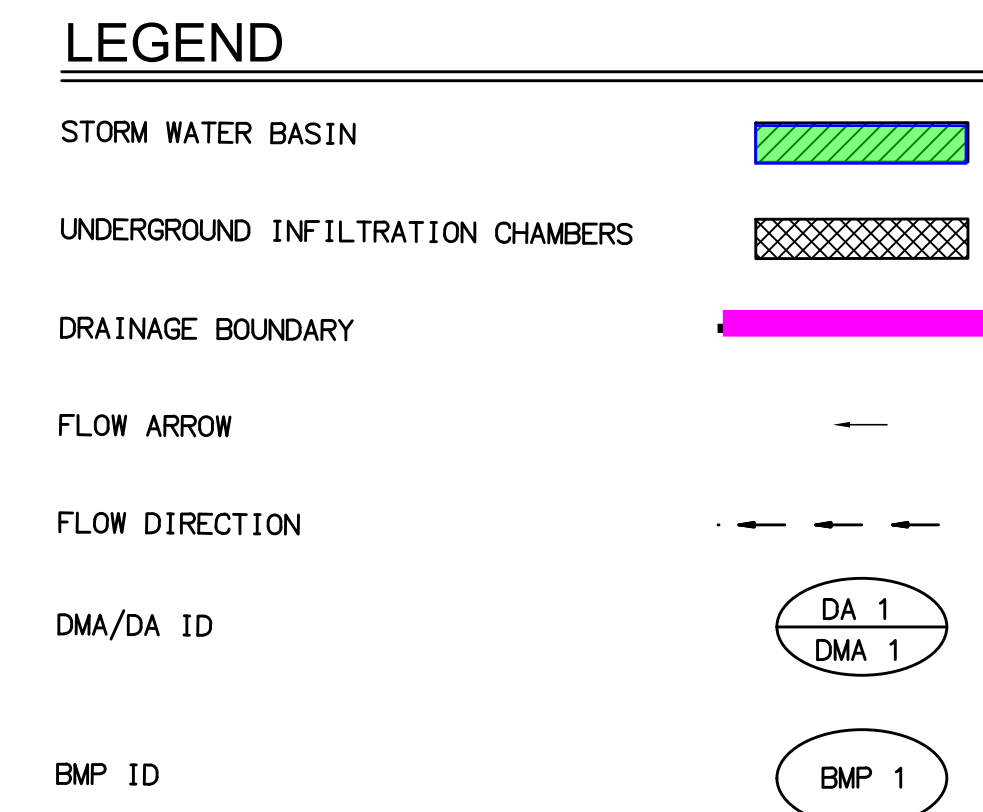
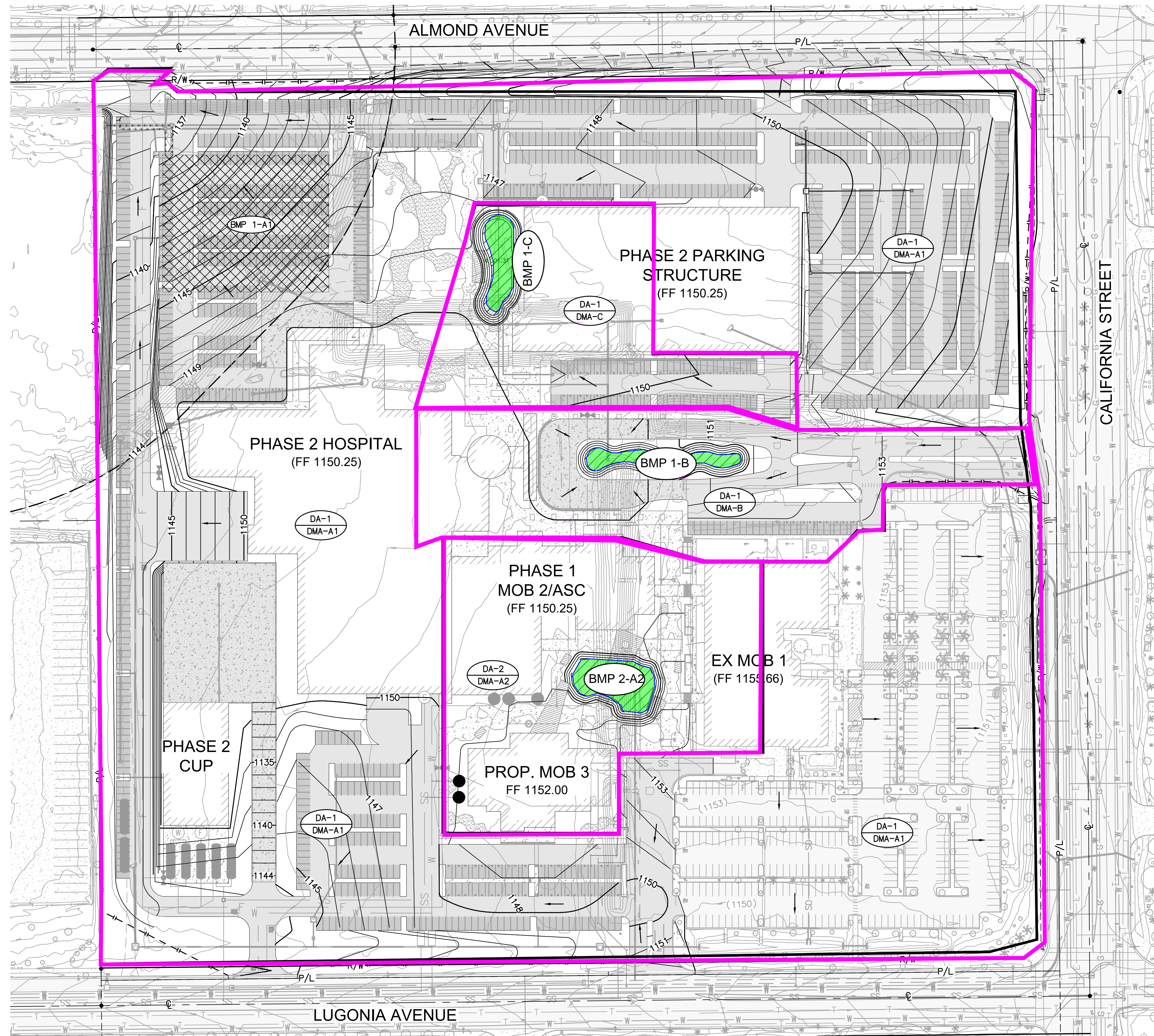


REDLANDS MEDICAL CENTER

Sheet: **C3.03**

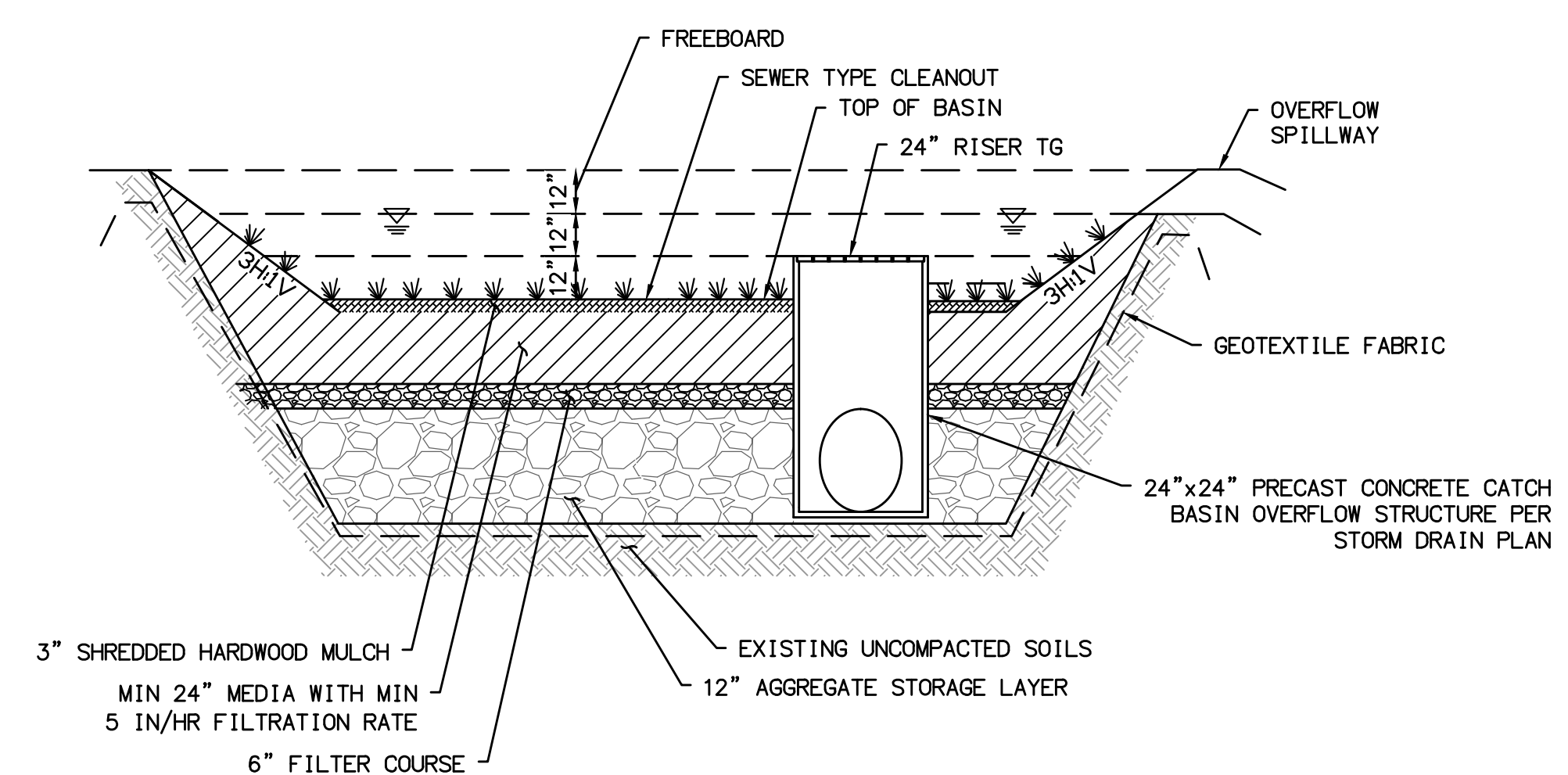
CITY OF REDLANDS

Site Development Plan Number:
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 383 E. Walnut Street Pasadena, CA 91108
 ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect) LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
 ZONE: CR ZONE



- NOTES:**
- SECTION A - FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER
 - SECTION B - EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.
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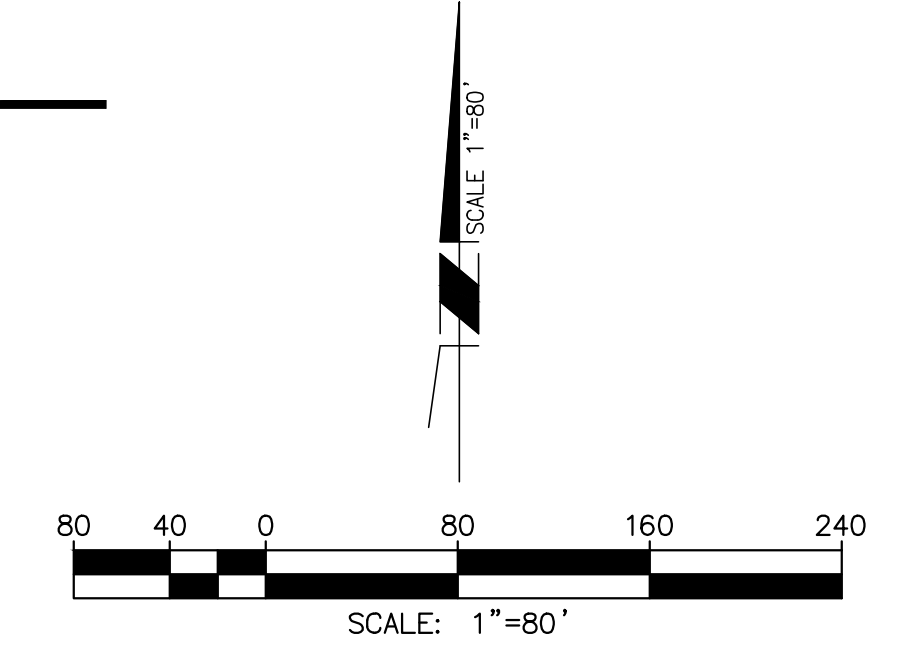
TYPICAL UNDERGROUND ADS STORMWATER CHAMBER INFILTRATION DETAIL
SCALE: NOT TO SCALE



TYPICAL BIO-RETENTION BASIN DETAIL
SCALE: NOT TO SCALE

DA	DMA	TOTAL AREA (SF)	IMPERVIOUS RATIO	DMA RUNOFF FACTOR	DESIGN CAPTURE VOLUME (CF)	BMP PROPOSED SURFACE AREA (SF)	VOLUME RETAINED BY BMP (CF)	BMP TYPE
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1	C	109,300	85%	0.66	8,386	4,000	9,300	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)
2	A2	152,000	85%	0.66	11,662	6,035	14,031	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)

PHASE 3 BMP Plan



**SITE PHASING - 3
BMP PLAN**

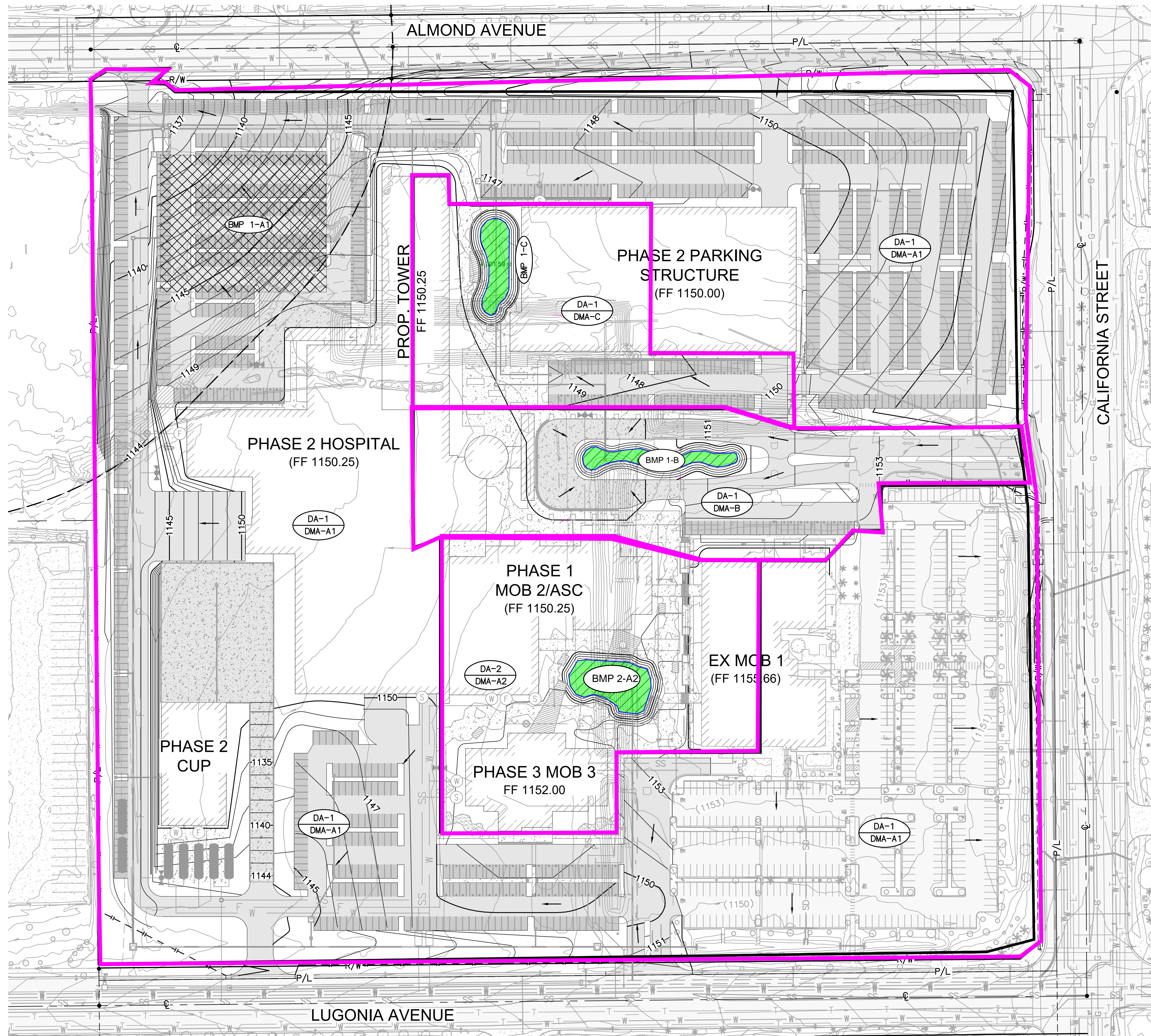
SEPTEMBER 09, 2022



REDLANDS MEDICAL CENTER

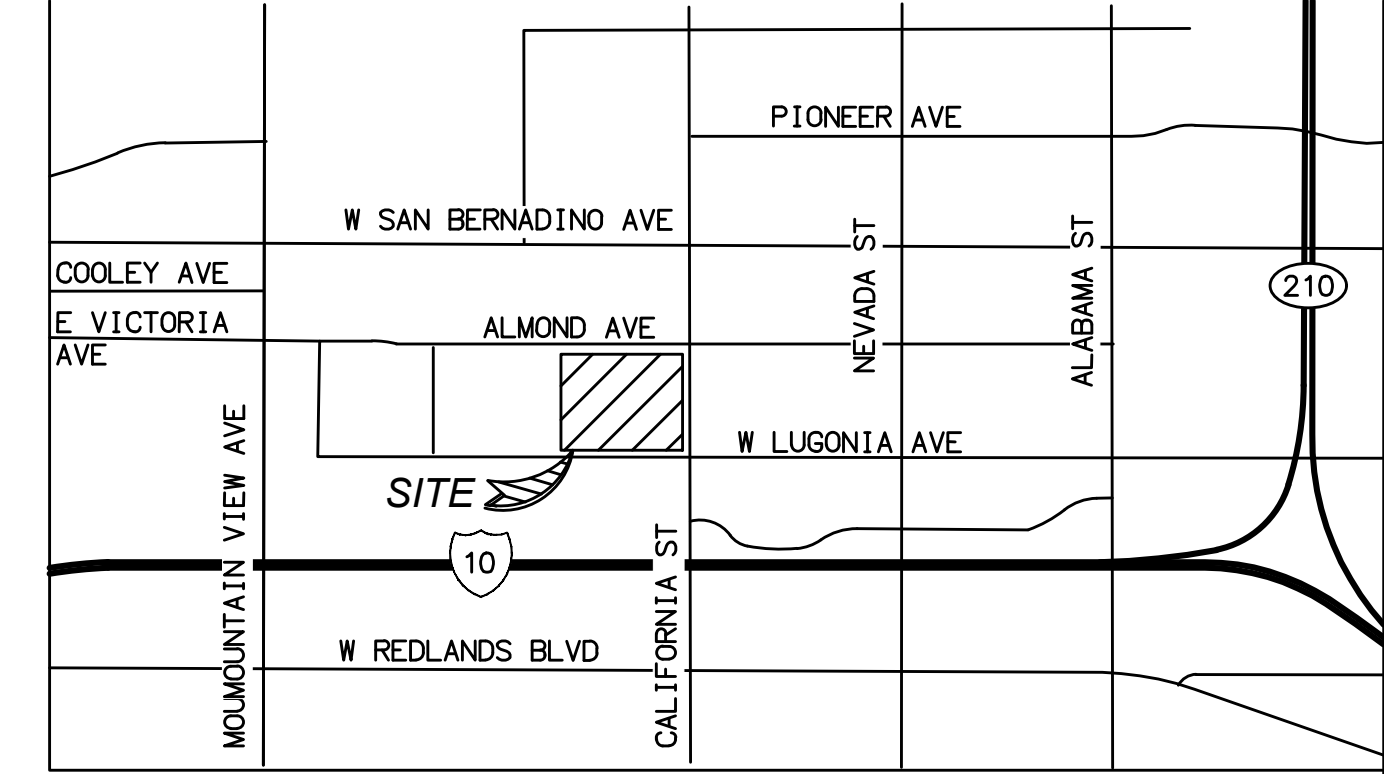
Sheet: **C4.03** CITY OF REDLANDS

Site Development Plan Number: _____
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 383 E Walnut Street Pasadena, CA 91108
 ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect) LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
 ZONE: CR ZONE

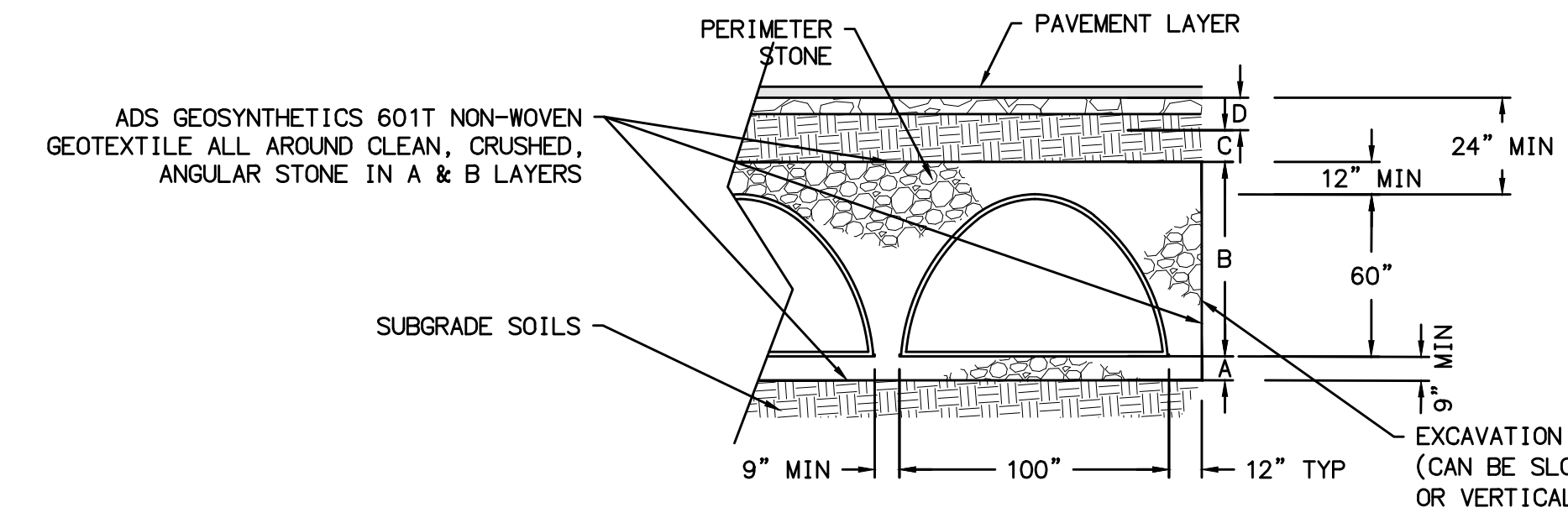


LEGEND

- STORM WATER BASIN
- UNDERGROUND INFILTRATION CHAMBERS
- DRAINAGE BOUNDARY
- FLOW ARROW
- FLOW DIRECTION
- DMA/DA ID
- BMP ID



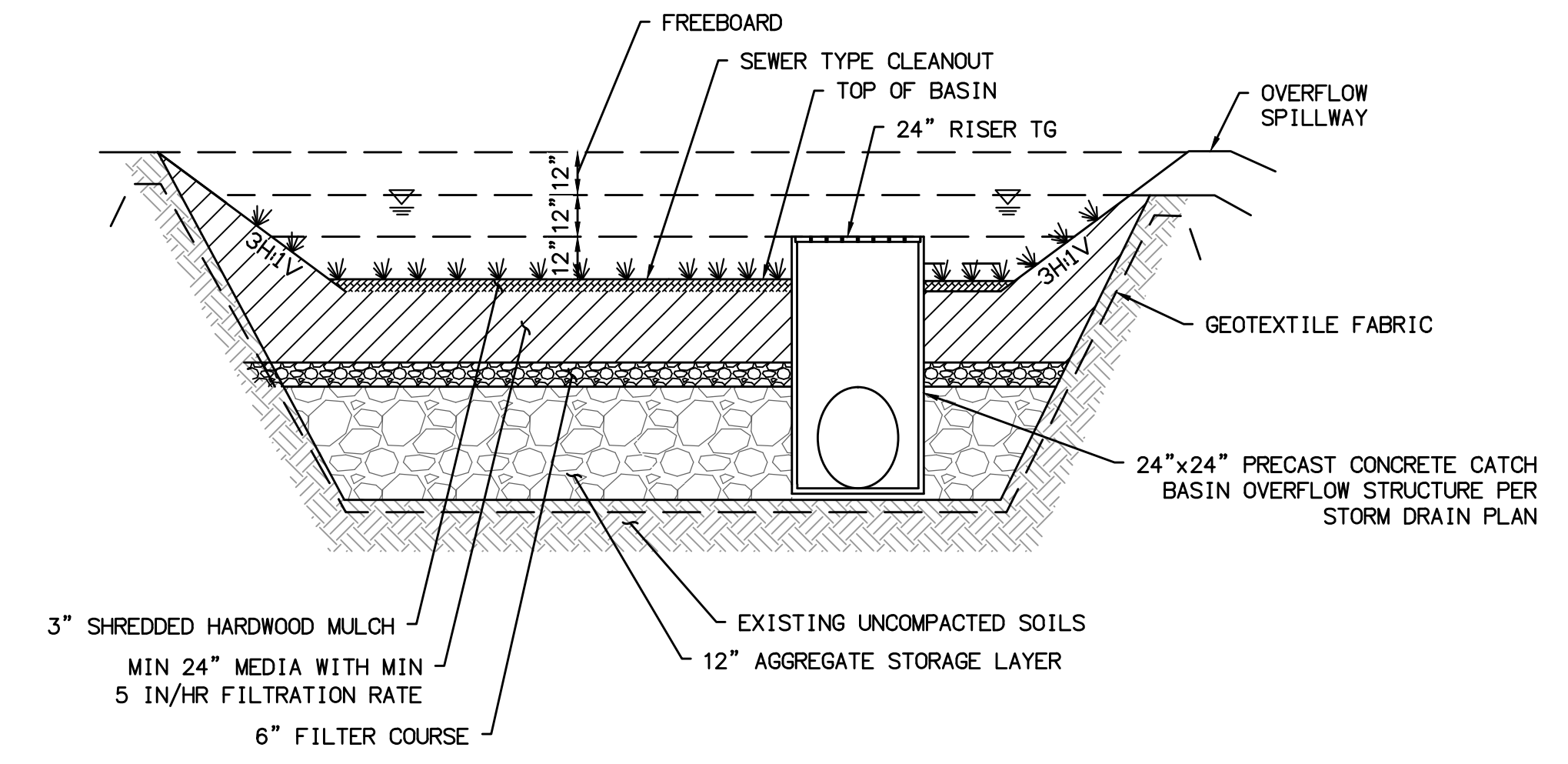
VICINITY MAP
N.T.S.



NOTES:

1. SECTION A - FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER
2. SECTION B - EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.
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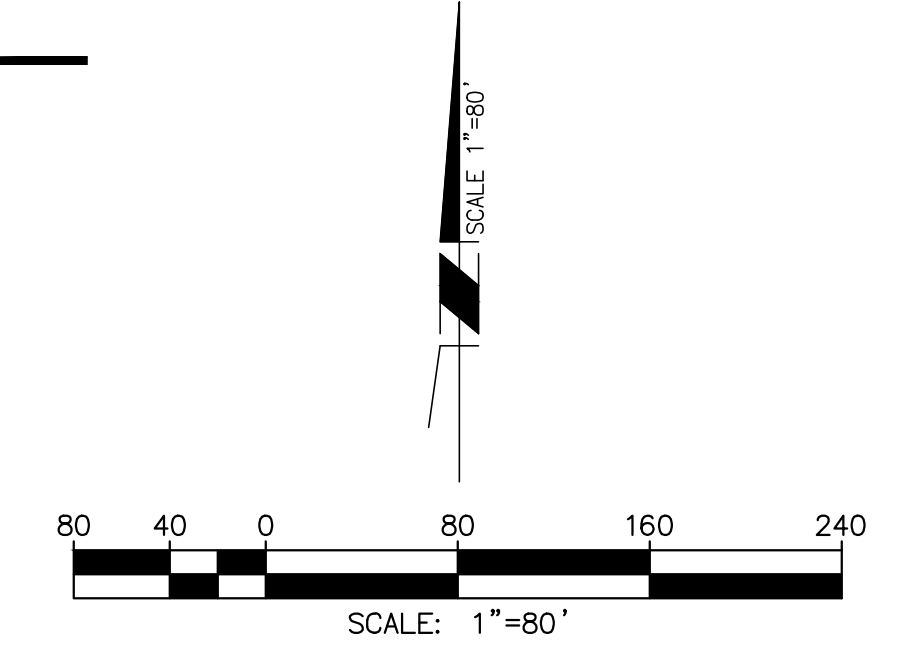
TYPICAL UNDERGROUND ADS STORMWATER CHAMBER INFILTRATION DETAIL
SCALE: NOT TO SCALE



TYPICAL BIO-RETENTION BASIN DETAIL
SCALE: NOT TO SCALE

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2	A2	152,000	85%	0.66	11,662	6,035	14,031	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)

PHASE 4 BMP Plan



**SITE PHASING - 4
BMP PLAN**

SEPTEMBER 09, 2022



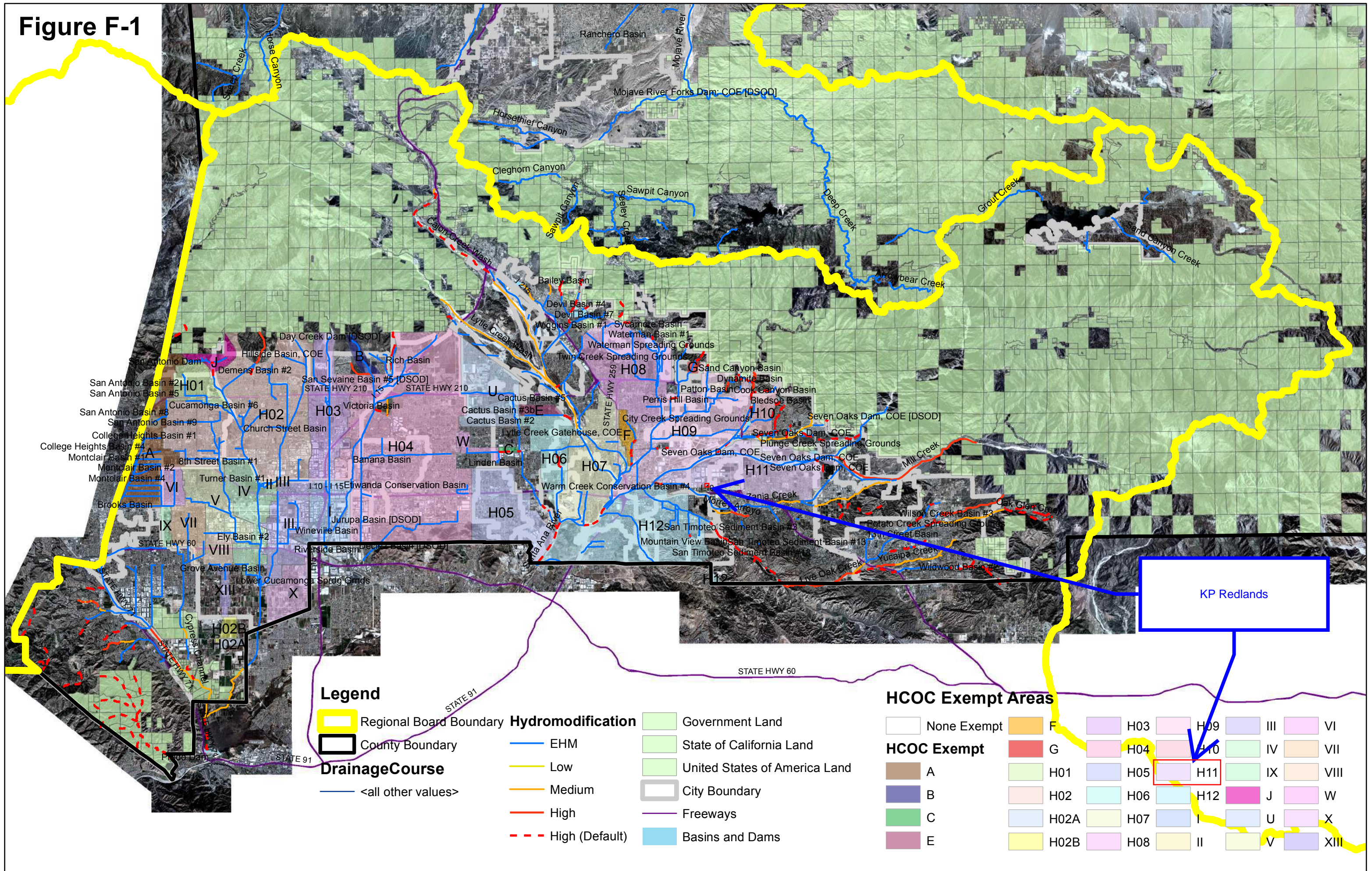
REDLANDS MEDICAL CENTER

Sheet: **C5.03**

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 303 E Walnut Street Pasadena, CA 91108
ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	

Figure F-1



Hydromodification

A.1 Hydrologic Conditions of Concern (HCOC) Analysis

HCOC Exemption:

1. **Sump Condition:** All downstream conveyance channel to an adequate sump (for example, Prado Dam, Santa Ana River, or other Lake, Reservoir or naturally erosion resistant feature) that will receive runoff from the project are engineered and regularly maintained to ensure design flow capacity; no sensitive stream habitat areas will be adversely affected; or are not identified on the Co-Permittees Hydromodification Sensitivity Maps.
2. **Pre = Post:** The runoff flow rate, volume and velocity for the post-development condition of the Priority Development Project do not exceed the pre-development (i.e, naturally occurring condition for the 2-year, 24-hour rainfall event utilizing latest San Bernardino County Hydrology Manual.
 - a. Submit a substantiated hydrologic analysis to justify your request.
3. **Diversion to Storage Area:** The drainage areas that divert to water storage areas which are considered as control/release point and utilized for water conservation.
 - a. See Appendix F for the HCOC Exemption Map and the on-line Watershed Geodatabase (<http://sbcounty.permitrack.com/wap>) for reference.
4. **Less than One Acre:** The Priority Development Project disturbs less than one acre. The Co-permittee has the discretion to require a Project Specific WQMP to address HCOCs on projects less than one acre on a case by case basis. The project disturbs less than one acre and is not part of a common plan of development.
5. **Built Out Area:** The contributing watershed area to which the project discharges has a developed area percentage greater than 90 percent.
 - a. See Appendix F for the HCOC Exemption Map and the on-line Watershed Geodatabase (<http://sbcounty.permitrack.com/wap>) for reference.

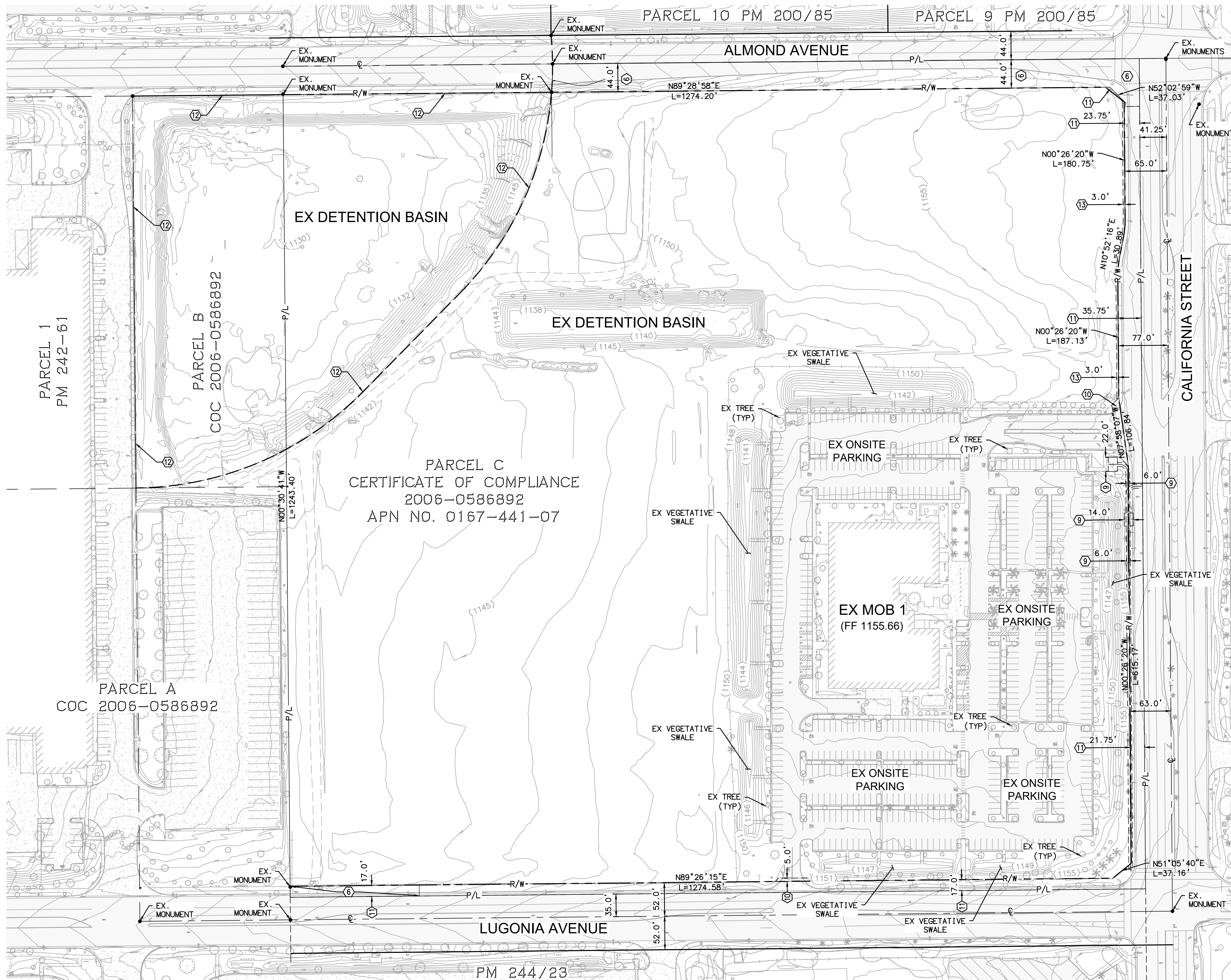
Summary of HCOC Exempted Area

	HCOC Exemption reasoning				
	1	2	3	4	5
Area					
A			X		X
B			X		
C					X
E			X		
F					X
G			X		X
H01	X		X		
H02	X		X		
H02A	X		X		
H02B			X		
H03			X		
H04	X		X		
H05	X				
H06			X		
H07	X				
H08	X		X		
H09	X				
H10	X		X		
H11	X		X		
H12	X				
J			X		
U			X		
W			X		
I			X		
II			X		
III					X
IV			X		X
V			X*		
VI					X
VII					X
VIII			X		
IX					X
X			X		
XIII			X		

*Detention/Conservation Basin

Appendix B

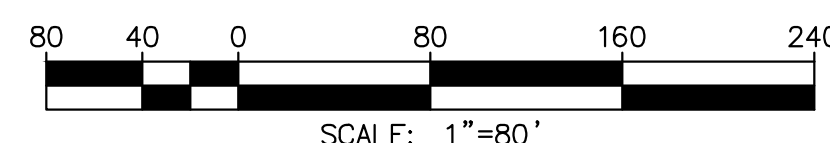
Entitlement Plans



EASEMENT NOTES

- ① AN OFFER OF DEDICATION FOR PUBLIC ROAD, UTILITY AND PUBLIC SERVICE USES AND INCIDENTAL PURPOSES, RECORDED JUNE 19, 2003 AS INSTRUMENT NO. 2003-0414272 OF OFFICIAL RECORDS TO THE CITY OF REDLANDS (PORTIONS ALMOND & LUGONIA STREETS)
- ② ELECTRIC EASEMENT TO SO. CAL EDISON CO. FOR UNDERGROUND ELECTRICAL SUPPLY AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 05, 2007 AS INSTRUMENT NO. 2007-0511648 OF OFFICIAL RECORDS. (4 STRIPS, VARYING WIDTHS, AS SHOWN)
- ③ AN EASEMENT FOR SIDEWALK PURPOSES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 06, 2007 AS INSTRUMENT NO. 2007-0514600 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF REDLANDS, A MUNICIPAL CORPORATION AFFECTS: AS DESCRIBED THEREIN

- ⑪ ROADWAY EASEMENT AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 06, 2007 AS INSTRUMENT NO. 2007-0514601 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF REDLANDS, A MUNICIPAL CORPORATION
- ⑫ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL EASEMENT AGREEMENT" RECORDED SEPTEMBER 10, 2007 AS INSTRUMENT NO. 2007-0520620 OF OFFICIAL RECORDS. (DETENTION BASIN AS SHOWN)
- ⑬ AN EASEMENT FOR SIDEWALK PURPOSES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 02, 2008 AS INSTRUMENT NO. 2008-0443990 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF REDLANDS, A MUNICIPAL CORPORATION AFFECTS: AS DESCRIBED THEREIN



OWNER/DEVELOPER

KAISER PERMANENTE
393 E. WALNUT STREET, 4TH FLOOR
PASADENA, CA 91188
CONTACT PERSON: SKYLER DENNISTON
PHONE NO. (626) 405-6333

CIVIL ENGINEER

MICHAEL BAKER INTERNATIONAL
9755 CLAIREMONT MESA BOULEVARD, SUITE 100
SAN DIEGO, CA 92124
PHONE NO. (858) 614-5000

ARCHITECT

CO ARCHITECTS
5055 WILSHIRE BOULEVARD, 9TH FLOOR
LOS ANGELES, CA 90036
PHONE NO. (323) 525-0500

SITE ADDRESS

1301 CALIFORNIA STREET
REDLANDS, CA 92374

FEMA ZONE

ZONE X, MINIMAL FLOOD HAZARD

EXISTING UTILITY NOTE

EXISTING UTILITIES HAVE BEEN SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL LOCATE AND MARK OUT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE ENGINEER IF ANY UTILITIES ARE LOCATED THAT ARE NOT IDENTIFIED ON THESE PLANS.

STORM WATER NOTE

A STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES BEST MANAGEMENT PRACTICES TO REDUCE POLLUTANTS REACHING DOWNSTREAM WATER BODIES, WILL BE PREPARED PRIOR TO ISSUANCE OF GRADING PERMIT AND A NOTICE OF INTENT SUBMITTED TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD.

EARTHWORK

PHASE 1 OUT: 33,000 CY FILL: 33,000 CY NET: 0 CY	PHASE 3 OUT: 79,000 CY FILL: 105,000 CY NET: 26,000 CY
PHASE 2 OUT: 79,000 CY FILL: 105,000 CY NET: 26,000 CY	PHASE 4 OUT: 79,000 CY FILL: 105,000 CY NET: 26,000 CY

DISTURBED AREA

GROSS DISTURBED AREA: 29.5 ACRES

LEGAL DESCRIPTION

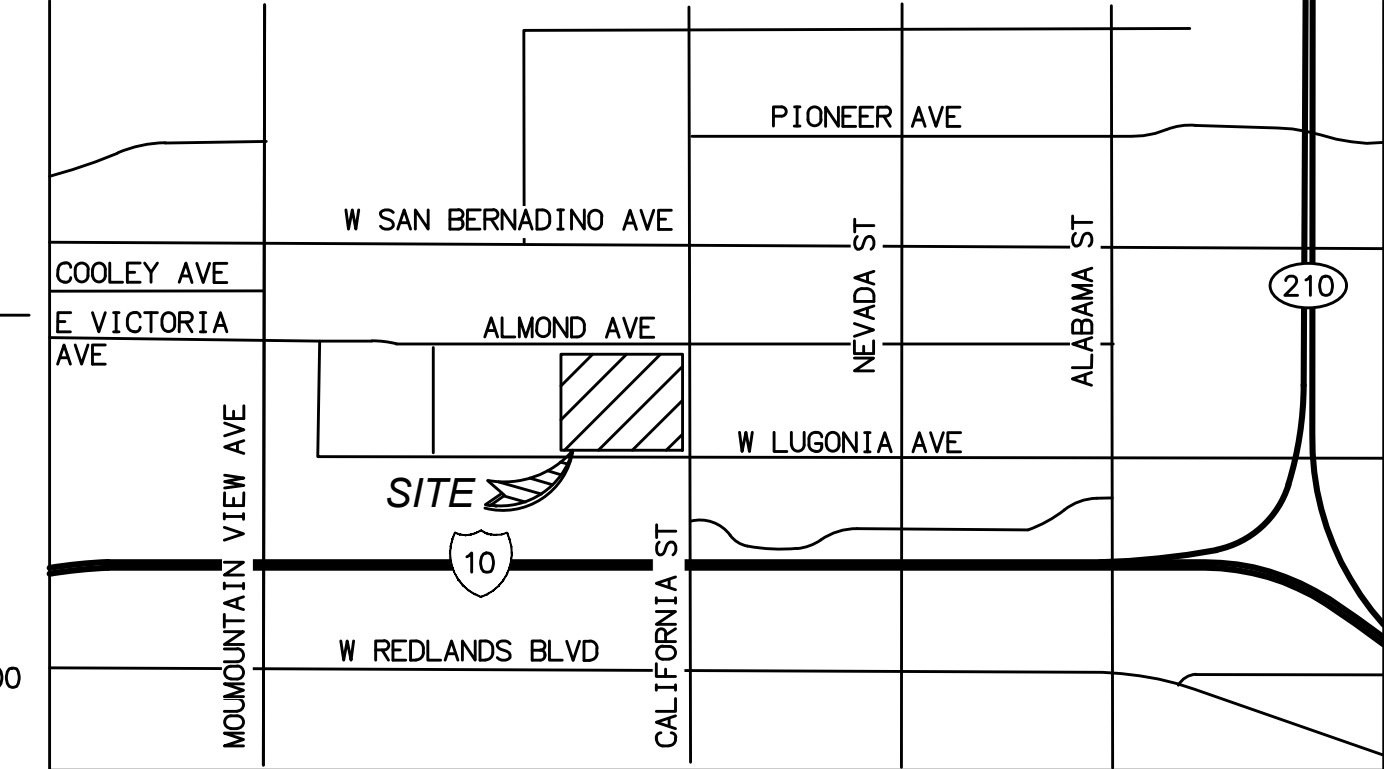
REAL PROPERTY IN THE CITY OF REDLANDS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF PARCEL 26 OF PARCEL MAP NO. 15911, IN THE CITY OF REDLANDS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 200, PAGES 85 TO 92, INCLUSIVE OF PARCEL MAPS, AND PARCEL "C" OF CERTIFICATE OF COMPLIANCE RECORDED AUGUST 16, 1991 AS INSTRUMENT NO. 91-312389, OF OFFICIAL RECORDS, BEING A PORTION OF LOTS 1, 2, 3, 4, 18, 19 AND 20 AND HUGO STREET (VACATED) OF THE ORANGE GROVE HOMESTEAD, AS PER MAP RECORDED IN BOOK 2, PAGE 5, OF MAPS, ALL IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF A LINE PARALLEL WITH AND 233.23 FEET EASTERLY, MEASURE AT RIGHT ANGLES FROM THE WESTERLY LINE OF SAID PARCEL 26 WITH THE NORTHERLY LINE OF SAID PARCEL 26, SAID NORTHERLY LINE ALSO BEING THE SOUTHERLY LINE OF ALMOND AVENUE, (88.00 FEET WIDE) AS SHOWN ON SAID PARCEL MAP NO. 15911; THENCE ALONG SAID PARALLEL LINE, SOUTH 00° 30' 44" EAST, 1243.45 FEET TO THE SOUTHERLY LINE OF SAID PARCEL "C"; THENCE ALONG SAID SOUTHERLY LINE OF PARCEL "C" NORTH 89° 25' 49" EAST, 1325.45 FEET TO THE EASTERLY LINE OF SAID PARCEL "C" THENCE ALONG SAID EASTERLY LINE OF SAID PARCEL "C" NORTH 00° 26' 27" WEST, 1286.12 FEET TO THE NORTHERLY LINE OF SAID PARCEL "C"; THENCE ALONG SAID NORTHERLY LINE OF PARCEL "C", SOUTH 89° 29' 16" WEST, 90908 FEET TO THE WESTERLY CURVED LINE OF SAID PARCEL "C" BEING THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 500.00 FEET, A RADIAL LINE OF SAID CURVE TO ITS POINT OF BEGINNING BEARS NORTH 89° 29' 16" EAST; THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 5° 02' 55" AN ARC DISTANCE OF 44.06 FEET TO THE NORTHEASTERLY CORNER OF SAID PARCEL 26; THENCE ALONG SAID NORTHERLY LINE OF PARCEL 26, SOUTH 89° 29' 16" WEST, 416.03 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ALL MINERALS AND ALL MINERAL RIGHTS OF EVERY KIND AND CHARACTER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED, EXCLUDING THE AREA WITHIN THE TOP FIVE HUNDRED (500) FEET OF THE SURFACE OF THE LAND, INCLUDING, WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, OIL AND GAS AND RIGHTS THERETO, TOGETHER WITH THE SOLE, EXCLUSIVE AND PERPETUAL RIGHT TO EXPLORE FOR, REMOVE AND DISPOSE OF SAID MINERALS BY ANY MEANS OR METHODS SUITABLE TO GRANTOR, ITS SUCCESSORS AND ASSIGNS, BUT WITHOUT ENTERING UPON OR USING THE SURFACE OF THE PROPERTY, AND IN SUCH MANNER AS NOT TO DAMAGE THE SURFACE OF SAID LANDS OR ITS LATERAL OR HORIZONTAL SUPPORT OR TO INTERFERE WITH THE USE THEREOF BY GRANTEE, ITS SUCCESSORS OR ASSIGNS, AS RESERVED IN THE DEED FROM UNION PACIFIC RAILROAD COMPANY, A DELAWARE CORPORATION, RECORDED NOVEMBER 2, 2001 AS INSTRUMENT NO. 2001-503313, OFFICIAL RECORDS.

APN: 0167-441-07-0-000



VICINITY MAP

N.T.S.

LEGEND

- STREET CENTERLINE
- EASEMENT LINE
- RIGHT OF WAY/PROPERTY LINE
- PARCEL LINE

TOPOGRAPHY SOURCE

AEROTECH MAPPING, INC.
200 SPECTRUM CENTER DRIVE, SUITE 300
IRVINE, CA 92618
PHONE NO. (619) 606-5020
TOPO SOURCE: AERIAL TOPO
TOPO SOURCE DATE: 2022-07-13

BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER NATIONAL GEODETIC SURVEY (NGS) DESIGNATION U1418. LOCATED APPROXIMATELY 196 FEET WEST OF THE CL INT OF CHURCH ST & E PENNSYLVANIA AVE, NORTH SIDE OF E PENNSYLVANIA BETWEEN SIDEWALK AND CURB ELEVATION: 1404.80

BASIS OF COORDINATES & BEARINGS

THE BASIS OF BEARINGS IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCRS83, ZONE 5, (CCRS EPOCH 2017.5) BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CONTINUOUS OPERATING REFERENCE STATIONS (CORS) AS PUBLISHED BY SCRIPPS ORBIT & PERMANENT ARRAY CENTER (SOPAC).

STATION	NORTHING (ft.)	GRID EASTING (ft.)	GRID
P612	1891277.943	6768672.068	
MSOB	1907327.945	6800419.744	

DISTANCES SHOWN HEREON ARE GROUND AND IN TERMS OF THE U.S. SURVEY FOOT. CONTROL POINT 1: GRID DISTANCE = GROUND DISTANCE X COMBINED SCALE FACTOR (0.9999428)

THE BASIS OF BEARINGS IS THE CALCULATED BEARING BETWEEN SAID CONTROL STATIONS P612 & MSOB I.E. N63°10'52"E

EXISTING CONDITIONS

SEPTEMBER 09, 2022

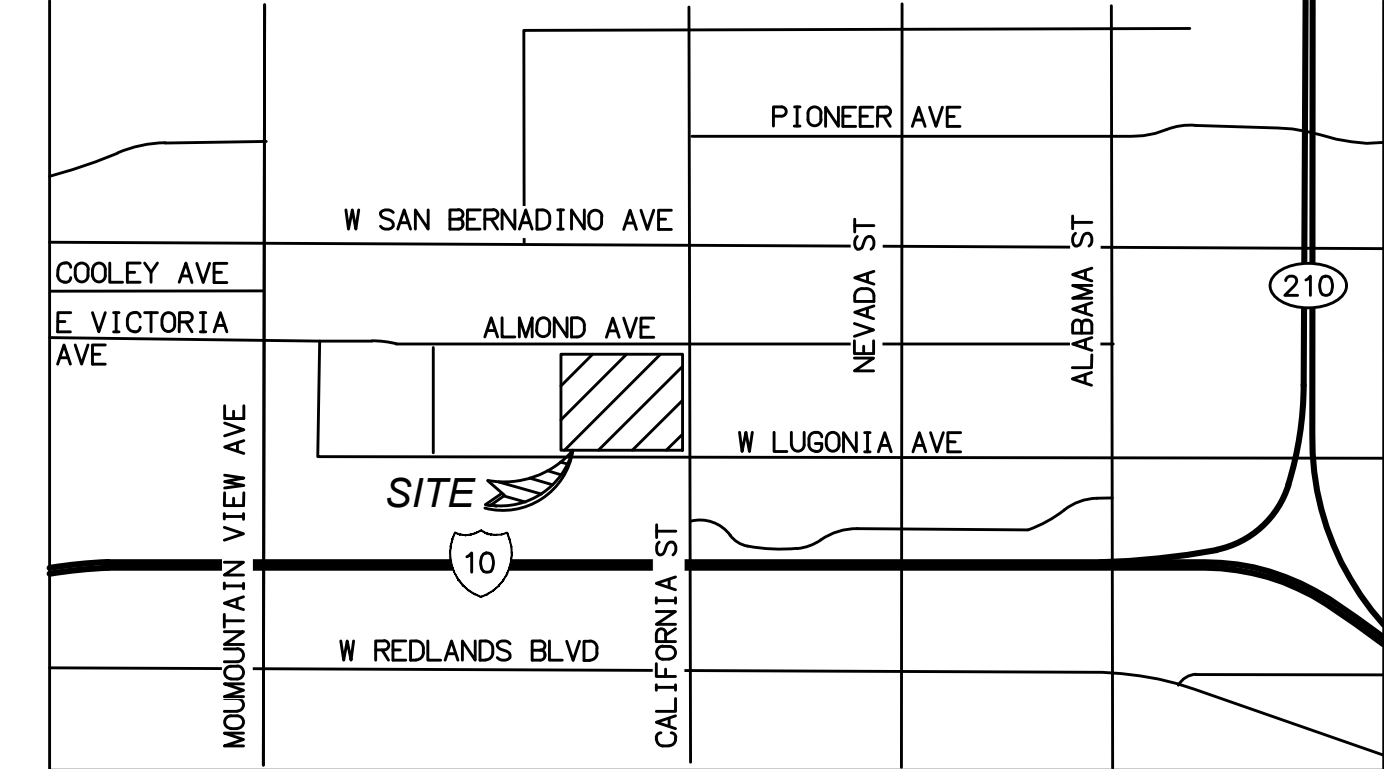
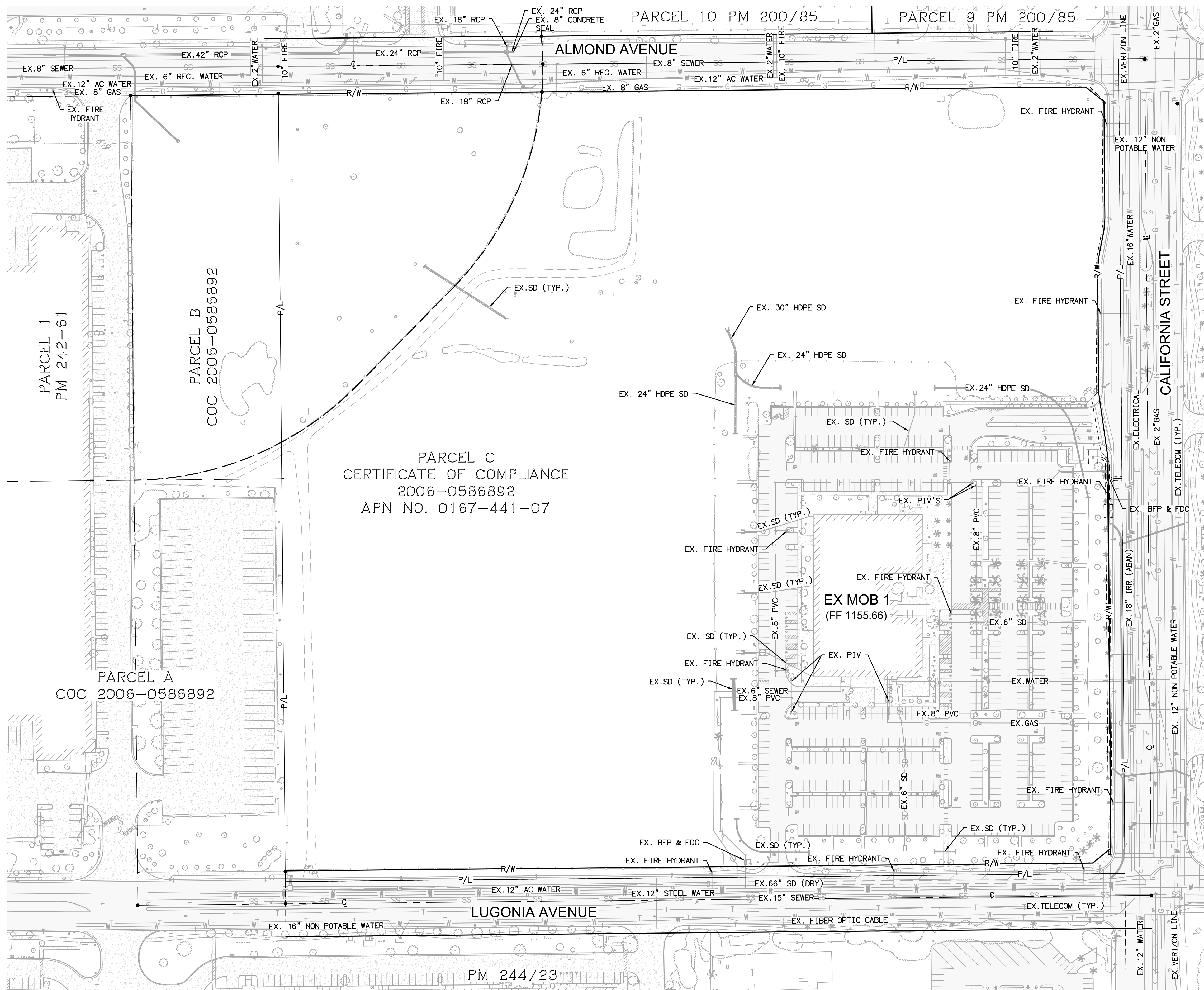


REDLANDS MEDICAL CENTER

Sheet: **C1.00**

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, Pasadena, CA 91188
ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Int'l, Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSORS/PARCEL NUMBER: 0167-441-07-0-000



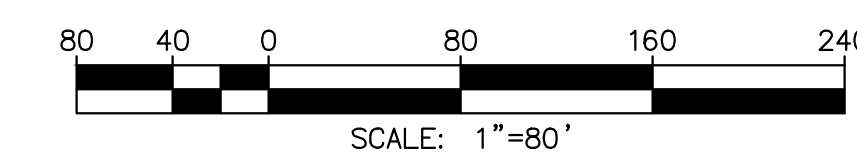
VICINITY MAP
N.T.S.

LEGEND

EXISTING STORM DRAIN	
EXISTING SEWER	
EXISTING WATER	
EXISTING GAS	
EXISTING FIRE	
EXISTING TELECOM	

EXISTING UTILITY NOTE

EXISTING UTILITIES HAVE BEEN SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL LOCATE AND MARK OUT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE ENGINEER IF ANY UTILITIES ARE LOCATED THAT ARE NOT IDENTIFIED ON THESE PLANS.



EXISTING UTILITIES

SEPTEMBER 09, 2022

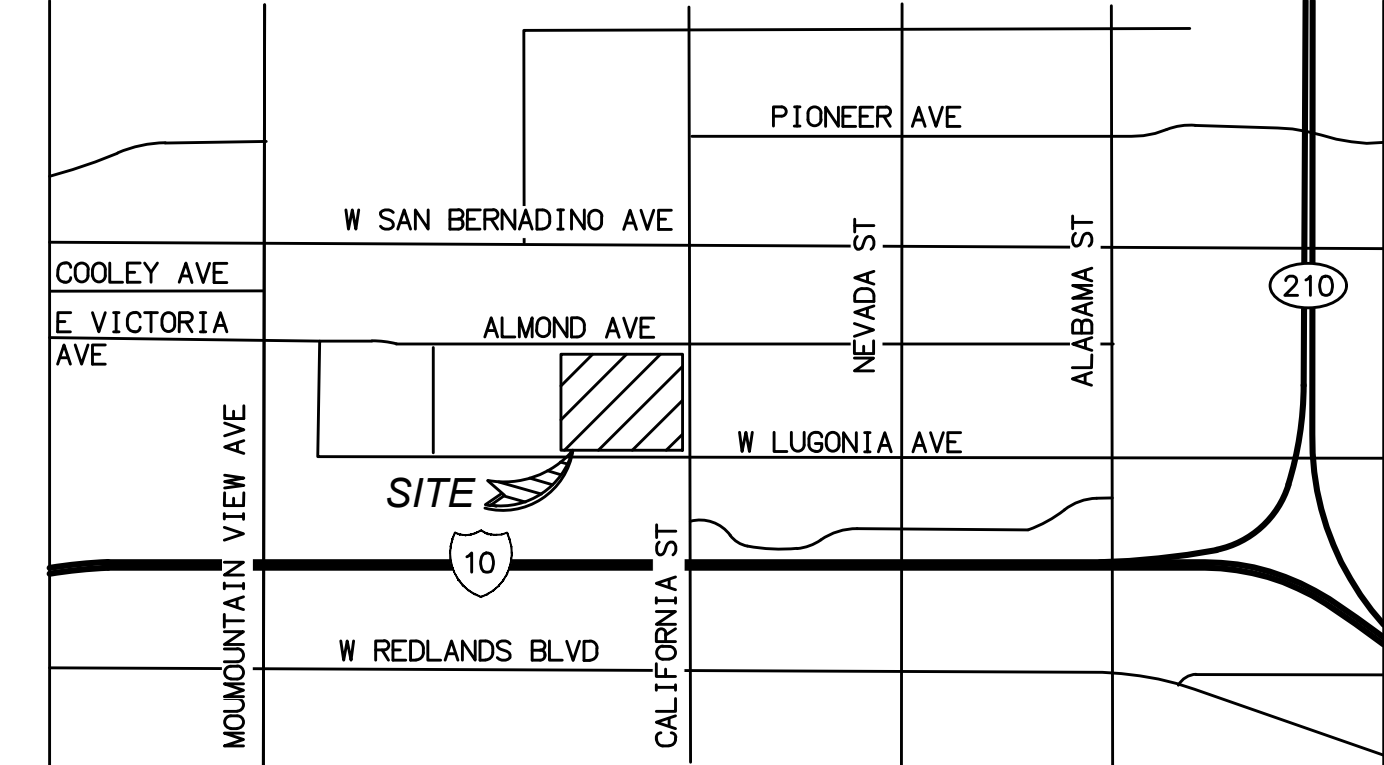
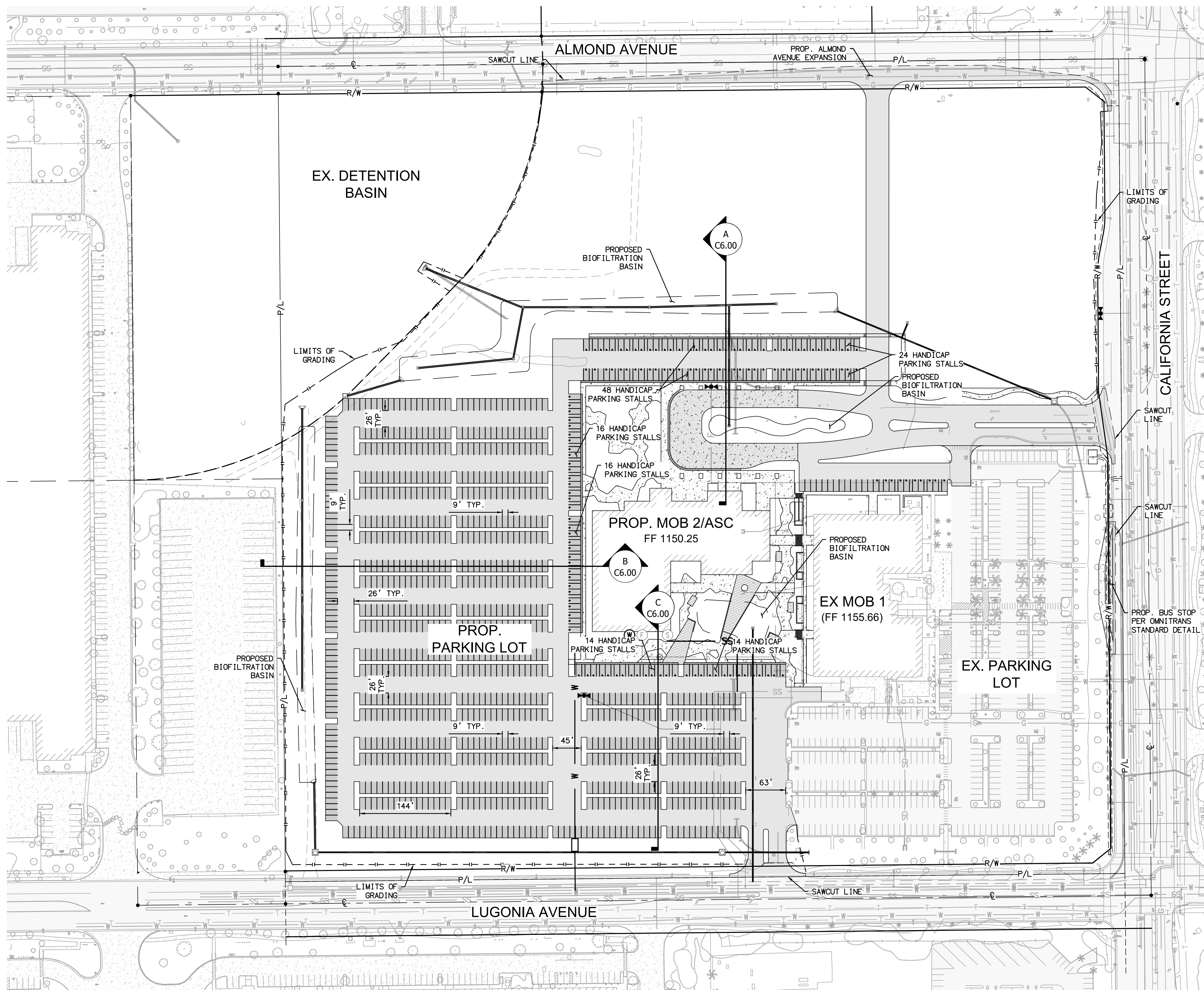


REDLANDS MEDICAL CENTER

Sheet: **C1.01**

CITY OF REDLANDS

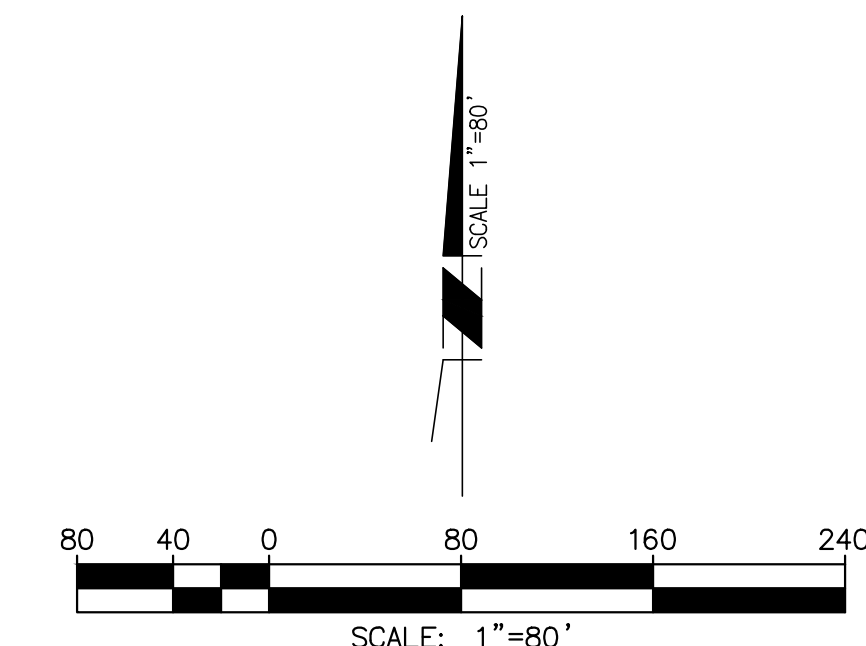
Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street Pasadena, CA 91108
ARCHITECT: ENGINEER: DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	



VICINITY MAP
N.T.S.

LEGEND

RIGHT OF WAY	---
PROPERTY LINE	---
CURB AND GUTTER	---
AC PAVEMENT	▨
HEAVY VEHICULAR AC PAVEMENT	▨
HEAVY VEHICULAR CONCRETE PAVEMENT	▨
PEDESTRIAN CONCRETE PAVEMENT	▨
DG PATH	▨
PROPOSED BUILDING	▨
TRUNCATED DOMES	▨



SITE PHASING - 1
SITE PLAN

SEPTEMBER 09, 2022

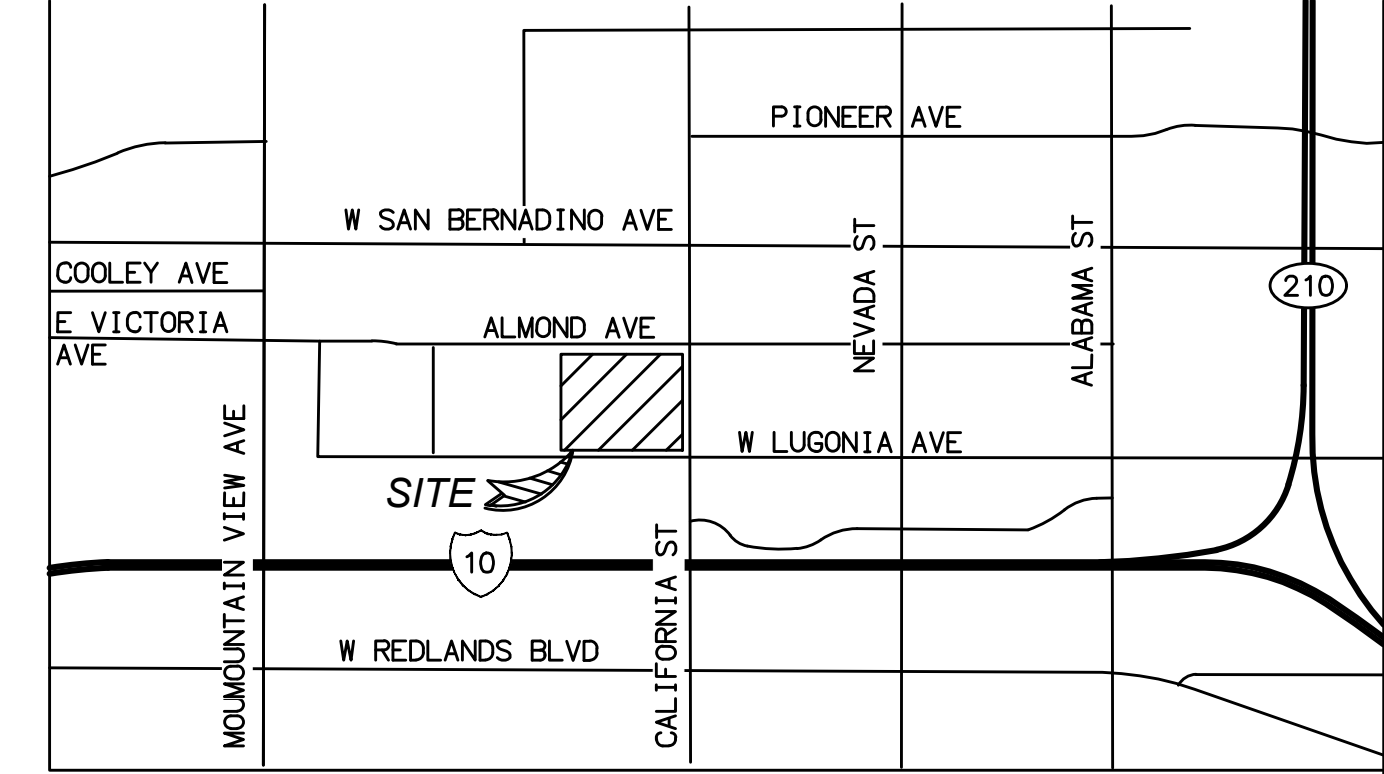
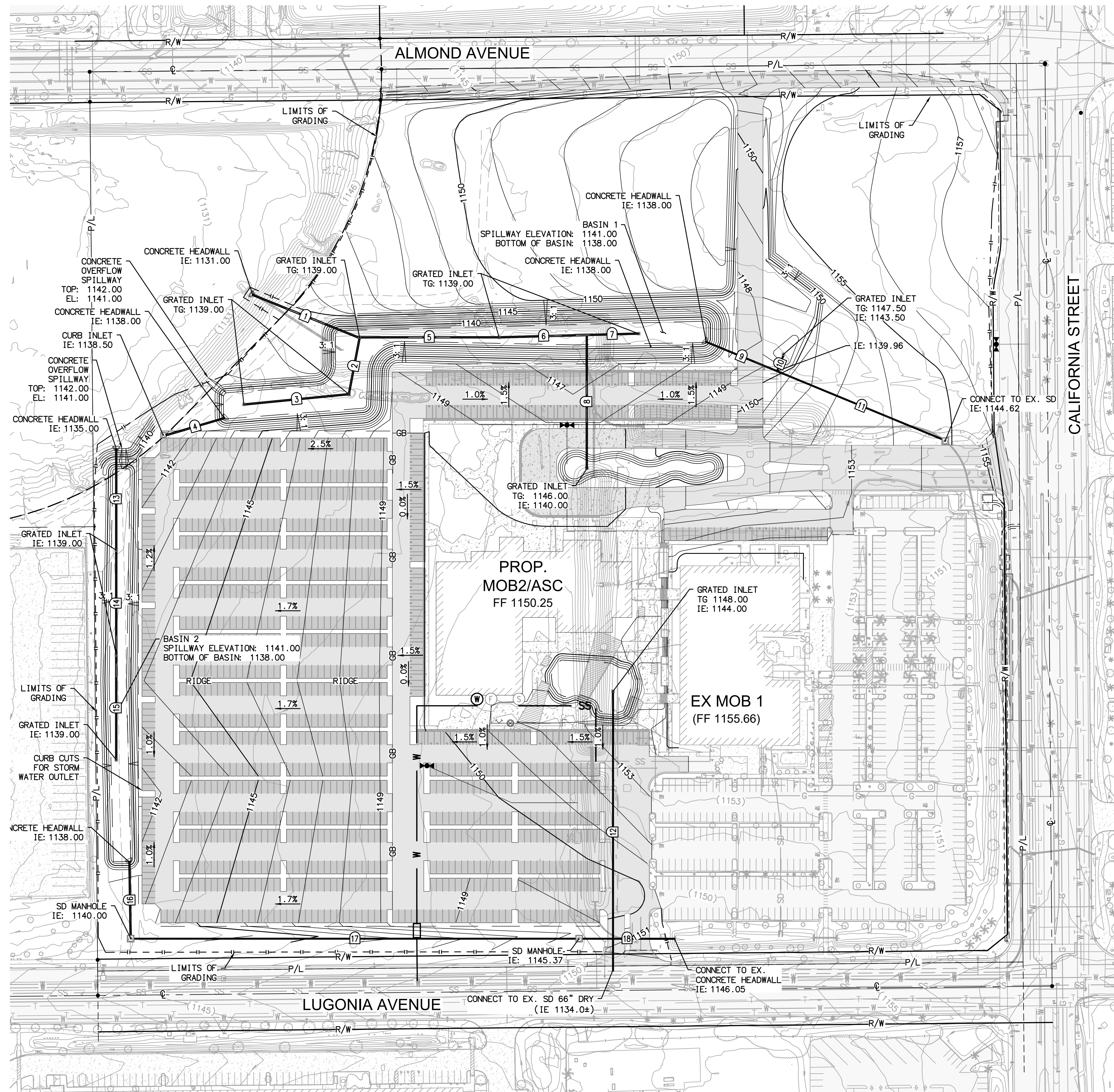


REDLANDS MEDICAL CENTER

Sheet: C2.00

CITY OF REDLANDS

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ZONE: CR ZONE	



VICINITY MAP
N.T.S.

GRADING GENERAL NOTES

- ALL GRADING AND ON-SITE CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF THE UNIFORM BUILDING CODE, LATEST EDITION, APPENDIX CHAPTER 33 AND THE CALIFORNIA BUILDING CODE, LATEST EDITION. THESE CODES ARE AMENDED IN THE CITY OF REDLANDS MUNICIPAL CODE. IF CONTRADICTIONS ARISE BETWEEN PROVISIONS IN THESE PLANS FROM THOSE IN THE VARIOUS CODES, THE MOST RESTRICTIVE PROVISIONS WILL GOVERN.
- AFTER THE GRADING PERMIT HAS BEEN ISSUED, THE PROJECT MANAGER SHALL CONVENE AN ON-SITE PRECONSTRUCTION MEETING WITH THE CITY OF REDLANDS INSPECTOR, THE ENGINEER OF RECORD, THE GEOTECHNICAL ENGINEER AND THE GRADING CONTRACTOR. AT THIS MEETING, THE PROJECT SUPERINTENDENT SHALL BE IDENTIFIED AND AN EMERGENCY CONTACT PERSON SHALL BE IDENTIFIED TO THE INSPECTOR.
- USE BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT AND CONTAIN ILLEGAL DISCHARGES WITHIN THE PROJECT BOUNDARY. THIS WILL BE IN EFFECT FOR THE ENTIRE DURATION OF THE PROJECT CONSTRUCTION TO ITS COMPLETION.
- BUILDING PERMITS SHALL NOT BE ISSUED UNTIL THE PROJECT SITE HAS BEEN GRADED AND THE ENGINEER OF RECORD HAS CERTIFIED TO THE SATISFACTION OF THE CITY ENGINEER THAT THE SITE HAS BEEN PREPARED ACCORDING TO THE RECOMMENDATIONS OF THE SOILS REPORT(S) AND TO THE SPECIFICATIONS OF THE APPROVED GRADING PLANS. IN ADDITION, A FINAL COMPACTION REPORT SHALL BE SUBMITTED TO BOTH THE INSPECTOR AND THE BUILDING OFFICIAL FOR APPROVAL.
- A WRITTEN REPORT BY A GEOTECHNICAL ENGINEER IS TO BE FURNISHED TO BOTH THE CITY'S MUNICIPAL UTILITIES AND ENGINEERING DEPARTMENT AND BUILDING AND SAFETY DIVISION, TO CERTIFY THAT ALL FILL MATERIAL AND MATERIAL UPON WHICH FILL IS TO BE PLACED IS ADEQUATE TO SUPPORT THE LOADS OF THE PROPOSED DEVELOPMENT. THIS REPORT SHALL INCLUDE SOIL TEST DATA ON ALL FILLS OF TWO FEET OR MORE.
- PREPARATION OF THE SITE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE INSTRUCTIONS OF A GEOTECHNICAL ENGINEER AND ALL FILLS WILL BE MADE UNDER HIS DIRECTION.
- IN NO CASE IS ANY SLOPE TO EXCEED A GRADIENT OF TWO HORIZONTAL TO ONE VERTICAL (2:1).
- THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITY LINES, STRUCTURES OR IRRIGATION LINES. THE CONTRACTOR IS TO MAKE AN ON-SITE INSPECTION AND NOTIFY ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATION OF ANY AND ALL UNDERGROUND FACILITIES.
- THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR CLEARING THE SITE IN PREPARATION FOR CONSTRUCTION.
- THE ENGINEER'S ESTIMATE IS 33,000 CY OF EXCAVATION AND 33,000 CY OF EMBANKMENT FOR THE SITE GRADING. THESE ARE RAW QUANTITIES WITHOUT ALLOWANCES FOR LOSS, SHRINKAGE OR COMPACTION.
- INSTALL FIRE HYDRANTS AS REQUIRED PRIOR TO THE DELIVERY OF ANY BUILDING MATERIAL TO THE SITE.
- BENCHMARK: ENTER PROJECT SPECIFIC DATA HERE. ELEVATION:
- ALL SLOPES THREE FEET OR GREATER MUST BE LANDSCAPED AND IRRIGATED PRIOR TO OCCUPANCY.
- ACREAGE OF THE PROJECT IS: ACRE(S).
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY WALLS, SIDEWALKS, SLABS, PAVING, ETC. TO BE CONSTRUCTED ON-SITE AS SHOWN HEREON. A SEPARATE PERMIT IS REQUIRED FROM THE BUILDING AND SAFETY DIVISION FOR THE CONSTRUCTION OF THESE ON-SITE ITEMS.
- ALL EARTHWORK SHALL CONFORM TO THE PRELIMINARY GEOTECHNICAL AND/OR GEOLOGIC INVESTIGATION REPORT FOR TBD PREPARED BY TBD, DATED TBD.
- THE ENGINEER OF RECORD MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INSPECTIONS PRIOR TO POURING ANY CONCRETE.

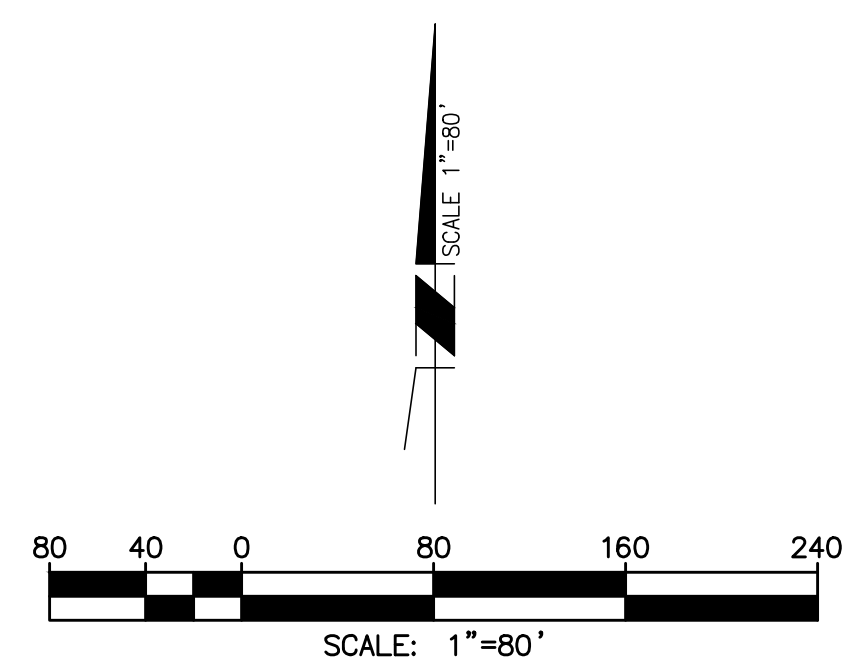
LEGEND

- MAJOR CONTOUR
- MINOR CONTOUR
- DAYLIGHT LINE
- SAWCUT LINE
- STORM DRAIN
- CURB INLET
- STORM DRAIN MANHOLE
- CATCH BASIN INLET
- CONCRETE HEADWALL
- CONCRETE STRUCTURE INLET

EARTHWORK

CUT: 33,000 CY
FILL: 33,000 CY
NET: 0 CY

NO	BEARING/Delta	LENGTH	SLOPE (%)	SIZE/TYPE
1	N68°06'52"W	162.75'	5.0	24" HDPE
2	N10°49'23"E	78.96'	0.5	12" HDPE
3	N84°22'55"E	147.14'	0.5	12" HDPE
4	N73°41'37"E	87.50'	0.5	12" HDPE
5	N89°59'25"E	196.00'	0.5	12" HDPE
6	N88°27'29"E	123.65'	0.5	12" HDPE
7	N88°27'29"E	72.42'	0.5	12" HDPE
8	N00°00'00"W	190.70'	0.5	12" HDPE
9	N67°35'04"W	109.99'	1.8	18" HDPE
10	N22°24'56"E	23.64'	15.0	12" HDPE
11	N67°35'04"W	260.99'	1.8	18" HDPE
12	N00°00'00"E	398.61'	2.5	18" HDPE
13	N00°00'00"E	142.93'	2.8	18" HDPE
14	N00°00'30"W	147.89'	0.5	12" HDPE
15	N00°00'29"E	152.11'	0.5	12" HDPE
16	N00°53'37"W	110.68'	1.8	12" HDPE
17	N90°00'00"E	642.38'	0.8	12" HDPE
18	N89°55'53"W	137.06'	0.5	12" HDPE



**SITE PHASING - 1
GRADING PLAN**

SEPTEMBER 09, 2022

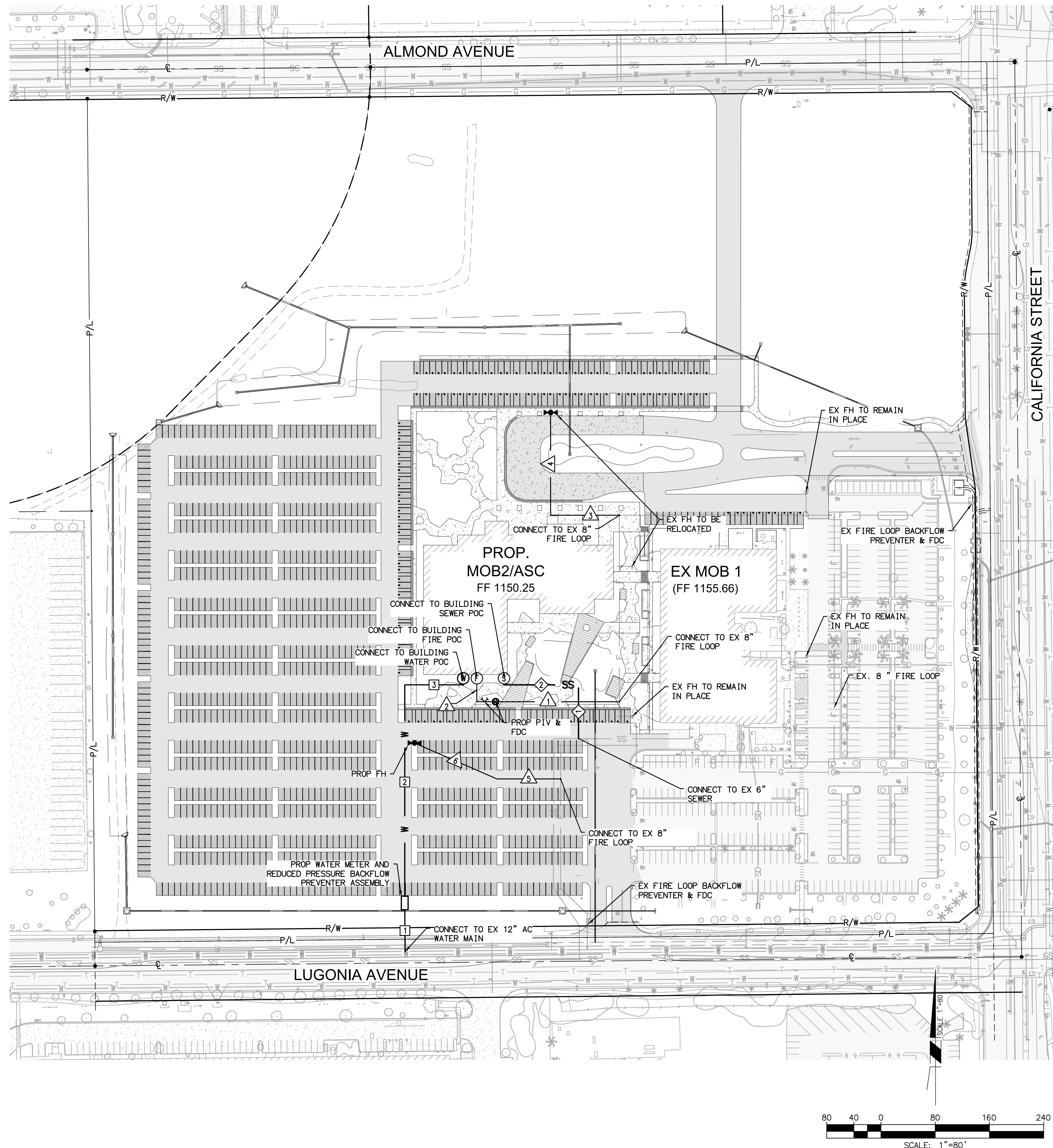


REDLANDS MEDICAL CENTER

Sheet: **C2.01**

CITY OF REDLANDS

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TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	



LEGEND

- WATER LINE — W —
- SEWER LINE — SS —
- FIRE LINE — F —
- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- UTILITY POC

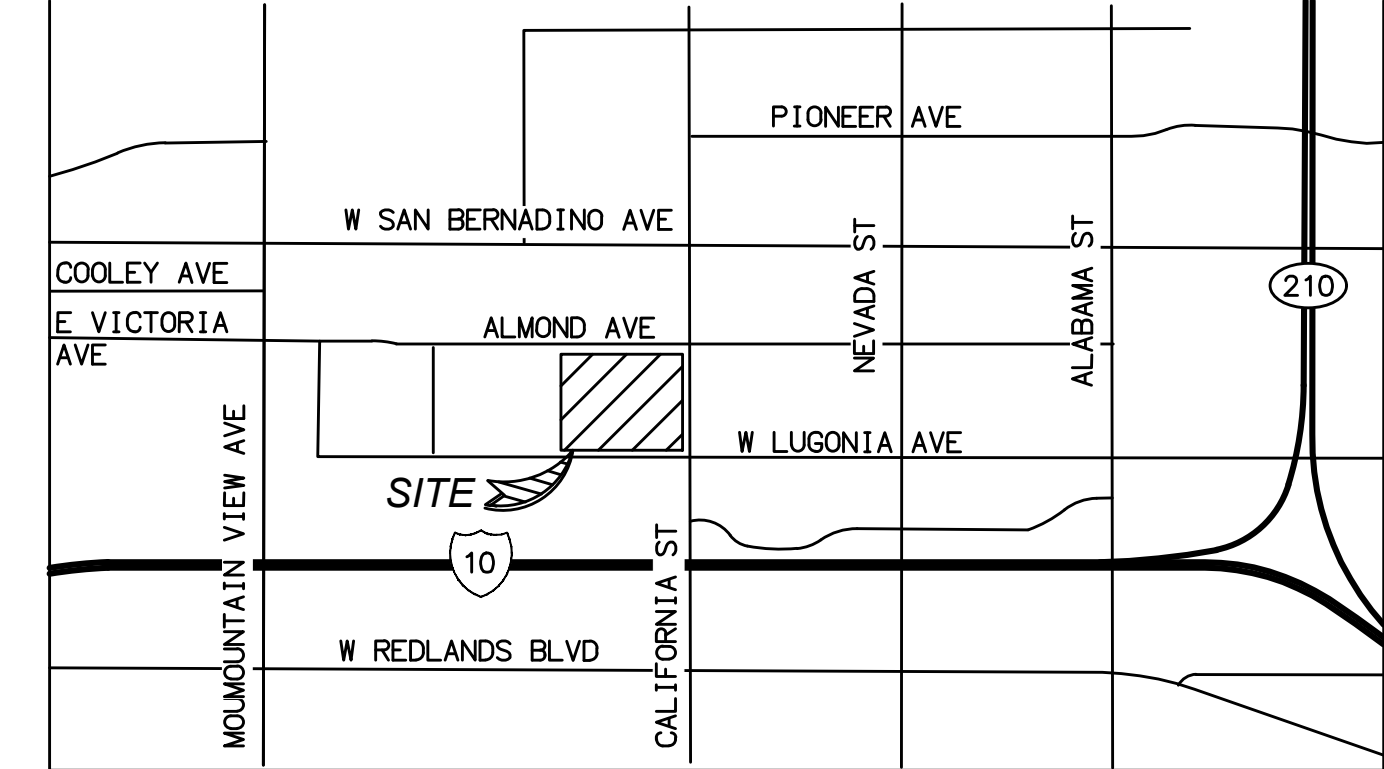
WATER GENERAL NOTES

1. MATERIAL AND INSTALLATION SHALL CONFORM TO THE CITY OF REDLANDS MUNICIPAL WATER DIVISION STANDARD SPECIFICATION (LATEST REVISION THEREOF).
2. THE APPROXIMATE LOCATIONS OF EXISTING UNDERGROUND UTILITY LINES ARE SHOWN IN THESE PLANS. THE LINES ARE PLOTTED FROM A COMBINATION OF RECORD AND FIELD DATA, AND THE CITY HAS TRIED WITHIN ITS AVAILABLE RESOURCES TO LOCATE ALL SUCH FACILITIES WITH REASONABLE ACCURACY. BY ENTERING INTO A CONTRACT FOR THIS WORK, THE CONTRACTOR AGREES PRIOR TO EXCAVATION TO NOTIFY ALL UTILITY AND IRRIGATION COMPANIES OPERATING IN THE AREA OF THE WORK, AND TO DETERMINE WITH AS MUCH ACCURACY AS IS NEEDED TO PERFORM THIS WORK, THE EXACT LOCATIONS OF ALL UNDERGROUND MAIN OR TRUNKLINE UTILITY FACILITIES.
3. ALL SERVICE CONNECTIONS TO BE MINIMUM 1-INCH COPPER LATERALS.
4. STANDARD WATER MAIN LOCATION IS 7 FEET OFF CURB FACE.
5. THIS DRAWING IS SCHEMATIC ONLY, DO NOT SCALE.
6. THE CONTRACTOR SHALL MAKE ALL WATER MAIN CONNECTIONS TO EXISTING WATER MAINS, UNLESS OTHERWISE NOTED.
7. EXISTING UTILITIES ARE SHOWN ON DEVELOPMENT PLAN.
8. HYDRO TEST TO XXX P.S.I. MIN 2 HOUR DURATION AT THE LOWEST POINT IN THE WATER MAIN.
9. BUTTERFLY VALVES TO BE DRESSER 450 OR KENNEDY ADAP-TORQ, CLOW STYLE #2810.
10. CONTRACTOR SHALL USE DOUBLE STRAP SERVICE CLAMPS OR H.D. TAPPED COUPLINGS WHEN CONNECTING SERVICE LATERALS.
11. CONTRACTOR SHALL NOTIFY CITY 48 HOURS PRIOR TO SHUTDOWN OF WATER MAINS.
12. INSTALLATION SHALL CONFORM TO MANUFACTURERS SPECIFICATIONS AND LATEST CITY SPECIFICATIONS AND/OR AS DIRECTED BY THE ENGINEER.
13. METER BOXES IN THE SIDEWALK SHALL HAVE CAST IRON LIDS.
14. PROVIDE A MINIMUM OF 10 FOOT SEPARATION BETWEEN SEWER AND WATER LATERALS WHERE POSSIBLE.
15. BACKFILL COMPACTION AND RE-SURFACING IN EXISTING STREETS SHALL CONFORM TO STREET DIVISION SPECIFICATIONS (LATEST REVISION THEREOF).
16. ALL VALVES INSTALLED BY THE CONTRACTOR SHALL BE ACCESSIBLE FOR OPERATION WITH COMPLETE VALVE BOX TO GRADE DIRECTLY FOLLOWING CONNECTION TO EXISTING WATER SYSTEM.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE SIZING OF THRUST BLOCKS BASED ON FIELD CONDITIONS. THE SIZE SHOWN ON THE PLANS IS THE MINIMUM SIZE REQUIRED.
18. SAND BEDDING AND BACKFILL TO A DEPTH OF 12" ABOVE PIPE IS REQUIRED.
19. IF WATER MAINS ARE ABANDONED AS A RESULT OF THIS PROJECT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RECONNECTION OR REPLACEMENT OF SERVICE LATERALS AS DIRECTED BY THE CITY INSPECTOR. SERVICE LATERALS THAT ARE REPLACED SHALL BE THE SAME SIZE AS EXISTING.
20. INTERIOR WATER SYSTEM INCLUDING FIRE HYDRANTS SHALL BE COMPLETE AND ACCEPTED BY THE CITY BEFORE ANY FRAMING PERMITS WILL BE ISSUED. CONTACT CITY FIRE MARSHALL FOR INTERIOR SYSTEM INSPECTIONS.
21. CONTACT THE MUNICIPAL WATER DIVISION 48 HOURS PRIOR TO ANY WATER SYSTEM CONSTRUCTION.
22. WHERE DESIGNATED ON THE PLANS, THE CONTRACTOR SHALL INSTALL POLY PIGS AND POLY PIG OUTLETS. THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS IN ADVANCE TO REQUEST THE CITY TO FLUSH POLY PIGS THROUGH THE MAINS. THE FLUSHING PROCESS SHALL TAKE PLACE PRIOR TO HYDROSTATIC TESTING CHLORINATION AND FINAL FLUSHING OF THE MAIN BY THE CONTRACTOR. FINAL CONNECTIONS SHALL NOT BE MADE PRIOR TO BACTERIA TEST SAMPLES THAT MEET CITY REQUIREMENTS AND AUTHORIZATION FOR TIE-INS BY THE CITY INSPECTOR.
23. A COMPLETE SET OF AS BUILT DRAWINGS SHALL BE SUBMITTED TO THE MUNICIPAL UTILITIES DEPARTMENT PRIOR TO FINAL INSPECTION.
24. THE CONTRACTOR SHALL NOT OPERATE ANY EXISTING CITY WATER SYSTEM VALVES.
25. WATER VALVE CANS SHALL BE PER SPEC A-20514 (SLIP CAN TYPE).

NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE
1	N 90°00'00" E	--	210.26'	4" PVC (C900 DR14)
2	N 00°00'00" E	--	34.73'	4" PVC (C900 DR14)
3	N 90°00'00" E	--	24.00'	6" PVC (C900 DR14)
4	N 00°00'00" E	--	151.59'	6" PVC (C900 DR14)
5	N 90°00'00" E	--	93.98'	6" PVC (C900 DR14)
6	N 66°27'53" W	--	132.49'	6" PVC (C900 DR14)

NO	BEARING/DELTA	LENGTH	SIZE/TYPE
1	N 00°33'50" W	61.38'	6" PVC (C900 DR18)
2	N 00°00'00" E	286.75'	6" PVC (C900 DR18)
3	N 90°00'00" E	86.25'	4" PVC (C900 DR18)

NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE
1	N 00°00'00" E	--	79.32'	6" PVC (SDR-35)
2	N 90°00'00" E	--	110.10'	6" PVC (SDR-35)



VICINITY MAP

N.T.S.

SEWER GENERAL NOTES

1. SEWER INSTALLATION IS TO BE IN ACCORDANCE WITH THESE PLANS AND THE STANDARD SPECIFICATIONS AND DETAIL DRAWINGS OF THE CITY OF REDLANDS LATEST REVISION THEREOF.
2. ALL SEWER PIPE ELEVATIONS GIVEN REFER TO THE FLOW LINE INVERT ELEVATIONS.
3. THE APPROXIMATE LOCATIONS OF KNOWN EXISTING UNDERGROUND UTILITY LINES ARE SHOWN ON THESE PLANS. THE LINES ARE PLOTTED FROM A COMBINATION OF RECORD AND FIELD DATA. THE CITY HAS TRIED WITHIN ITS AVAILABLE RESOURCES TO LOCATE ALL SUCH FACILITIES WITH REASONABLE ACCURACY. BY ENTERING INTO A CONTRACT FOR THIS WORK THE CONTRACTOR AGREES, PRIOR TO ANY EXCAVATION TO NOTIFY ALL UTILITY AND IRRIGATION COMPANIES OPERATING IN THE AREA OF THE WORK AND TO DETERMINE WITH AS MUCH ACCURACY AS IS NEEDED TO PERFORM THIS WORK, THE EXACT LOCATIONS OF ALL UNDERGROUND MAIN OR SERVICE UTILITY FACILITIES.
4. SAND BEDDING AND BACKFILL TO A DEPTH OF 12" ABOVE PIPE IS REQUIRED FOR ALL SEWER PIPE MAY BE REQUIRED IF IN THE OPINION OF THE CITY, THE NATIVE BACKFILL MATERIAL IS DEEMED UNSUITABLE.
5. PVC SEWER IS NOT PERMITTED ON ANY HORIZONTAL OR VERTICAL CURVE.
6. THE CONTRACTOR SHALL AIR TEST THE SEWER SYSTEM IN ACCORDANCE WITH CITY STANDARDS AFTER ALL OTHER UTILITIES HAVE BEEN INSTALLED AND COMPLETED WITHIN THE TRACT OR DEVELOPMENT. IN ADDITION, AFTER FINAL AIR TEST, THE CONTRACTOR SHALL CONNECT THE SEWER LATERALS TO THE HOUSE LATERALS AT THE PROPERTY.
7. SEWER LATERALS SHALL BE CLEARLY MARKED WITH AN "L" CHISELED IN CURB FACE.
8. REQUIRED SEPARATION OF THE WATER AND SEWER MAINS AND LATERALS SHALL BE STRICTLY ADHERED TO. INSTALLATION SHALL COMPLY WITH THE STATE DEPARTMENT OF HEALTH REGULATIONS AND BE A MINIMUM OF 10 FEET SEPARATION.
9. SEWER LATERAL LOCATIONS SHALL NOT BE CHANGED MORE THAN 3 FEET (HORIZONTAL) WITHOUT AUTHORIZATION FROM THE CITY.
10. IF PLASTIC SEWER PIPE IS USED, A MANDREL TEST SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE CITY INSPECTOR IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE MUNICIPAL UTILITIES DEPARTMENT. LATEST REVISIONS EXCEPT THE MANDREL SHALL BE SUPPLIED BY THE PIPE MANUFACTURER APPROVED BY CITY OF REDLANDS AND SHALL BE PULLED THROUGH THE PIPE BY HAND. PVC PIPE-MAXIMUM 15" DIAMETER ALLOWABLE.
11. PRIOR TO PAVING OF STREETS OVER A NEW SEWER MAIN ALL COMPACTION TESTS, AIR TESTS, BALLING AND MANDREL TESTS SHALL BE COMPLETED AND APPROVED BY THE CITY AND A COMPLETE SET OF AS-BUILT DRAWINGS SUBMITTED TO THE MUNICIPAL UTILITIES DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF AS-BUILT DRAWINGS.
12. PRIOR TO ACCEPTANCE BY THE CITY, NEW SEWER LINE SHALL REMAIN PLUGGED AT OR PHYSICALLY SEPARATED FROM THE DOWNSTREAM MANHOLE AND STREETS SHALL BE PAVED.
13. THE CONTRACTOR SHALL REPLACE EXISTING STRIPING AS NECESSARY. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR SEWER CONSTRUCTION FROM THE CITY OF REDLANDS PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCEMENT OF WORK.
14. PVC SEWER PIPE AND FITTINGS SHALL CONFORM TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (A.S.T.M.) DESIGNATION D-3034, 15" MAXIMUM SIZE, SDR 35 LATEST REVISION.
15. THE JOINTING OF PVC SEWER PIPE SHALL BE BY USING ELECTROMETRIC GASKET JOINTS. THE CRITICAL SEALING DIMENSIONS OF THE BELL, SPIGOT, AND GASKET SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARD DIMENSIONS AND TOLERANCES.
16. MANHOLE RIM ELEVATIONS INDICATED HEREON ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL RIMS TO FINAL FINISH GRADE, IN COORDINATION WITH STREET IMPROVEMENTS.
17. ALL SEWER STATIONS ARE CENTERLINE SEWER MAIN UNLESS OTHERWISE INDICATED.
18. DURING THE PERIOD OF CONSTRUCTION THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN ALL WARNINGS, SIGNS, BARRICADES, AND OTHER SAFETY MEASURES IN CONFORMANCE WITH THE STATE MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, LATEST EDITION. THE CONTRACTOR SHALL PROVIDE SAFE AND CONTINUOUS PASSAGE FOR PEDESTRIAN AND VEHICULAR TRAFFIC AT ALL TIMES.

UNDERGROUND UTILITY NOTE

THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE GENERATED FROM RECORDS AND/OR UTILITY PROVIDER RECORD MAPS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERE TO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE EXPENSE OF THE CONTRACTOR.

**SITE PHASING - 1
UTILITY PLAN**

SEPTEMBER 09, 2022

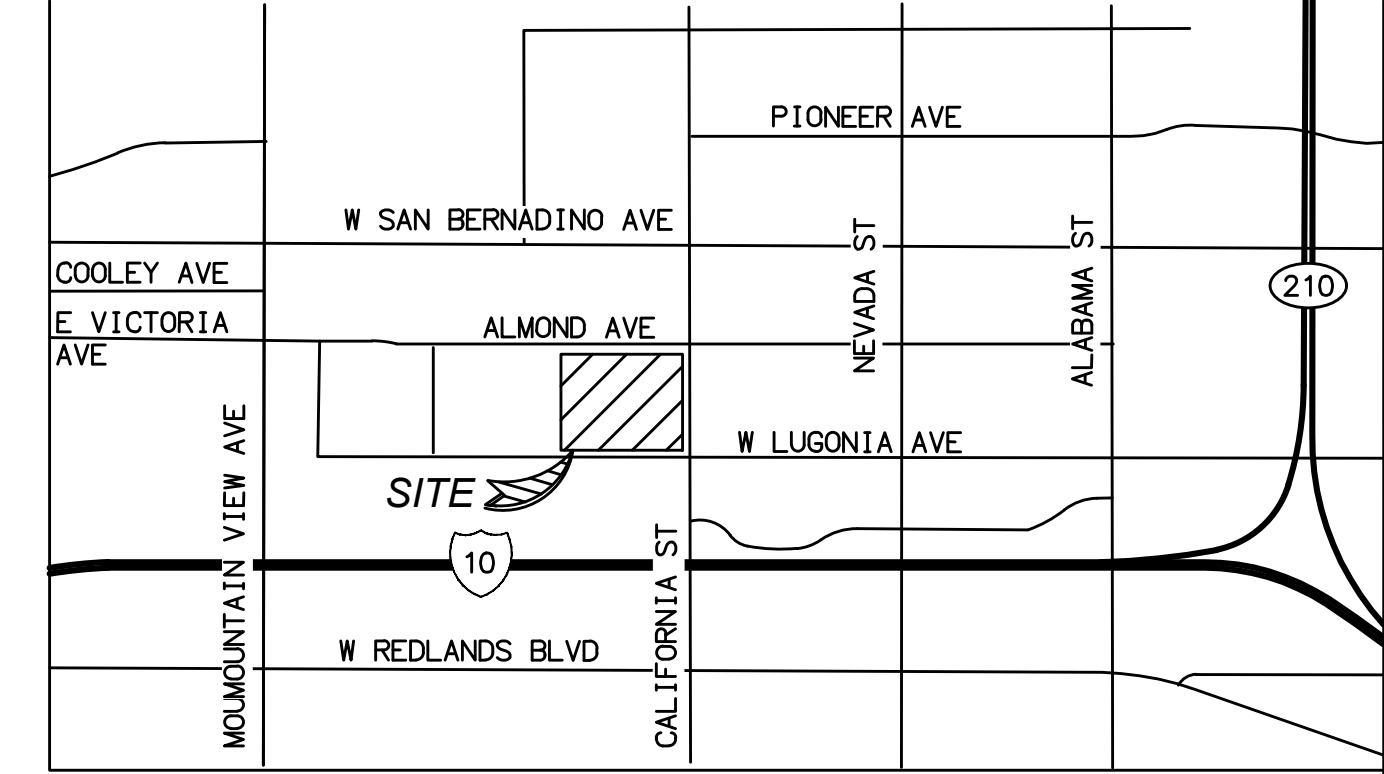
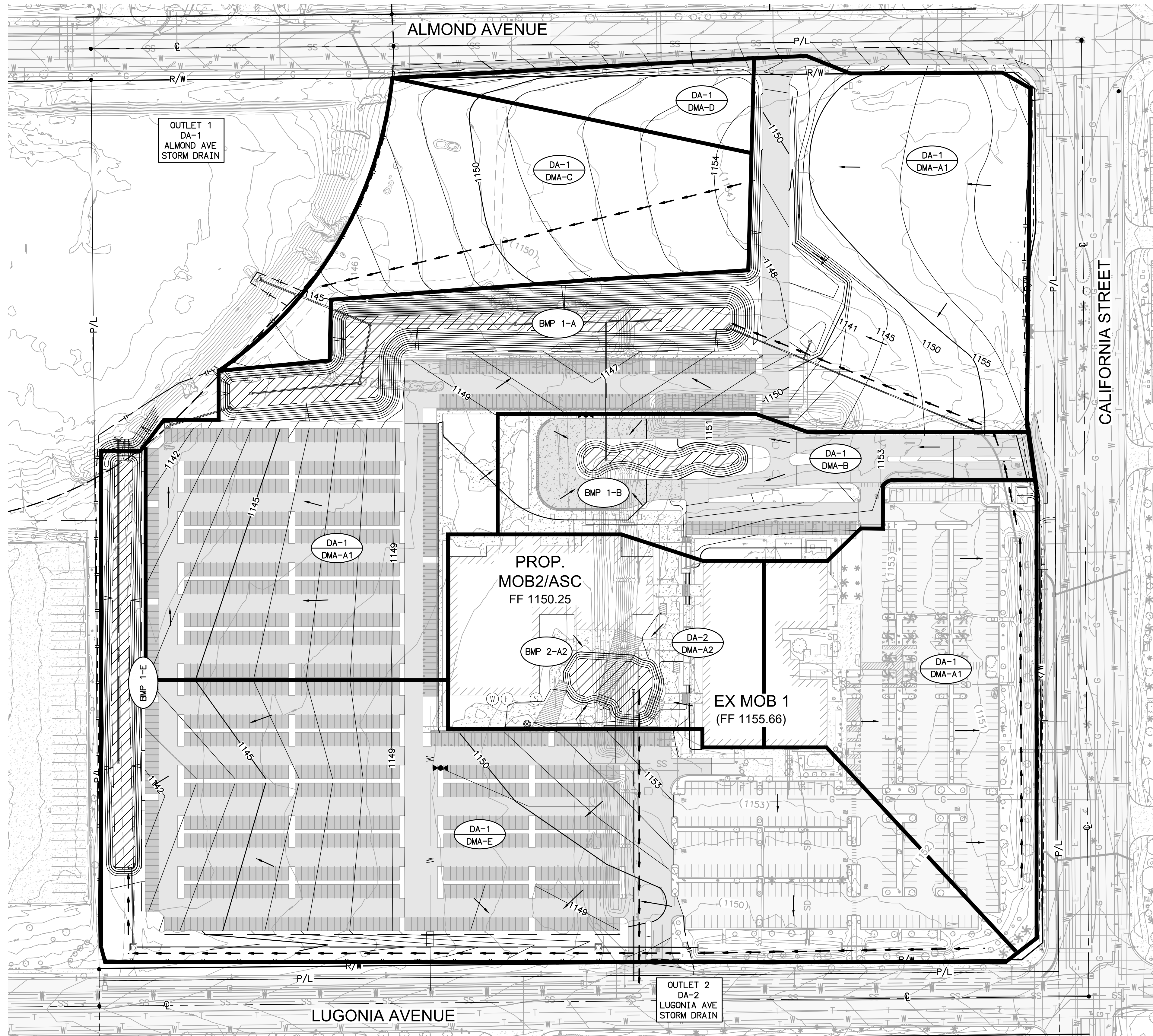


REDLANDS MEDICAL CENTER

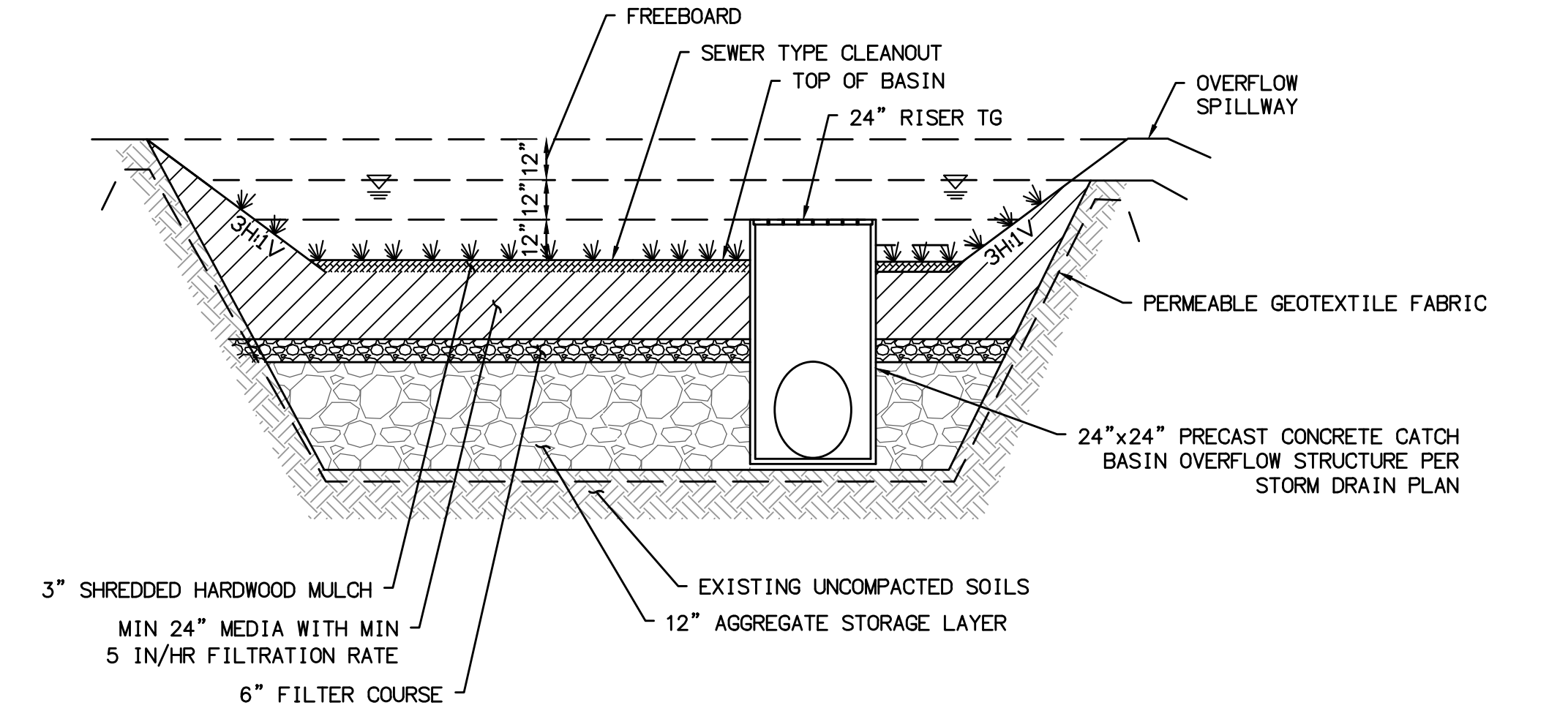
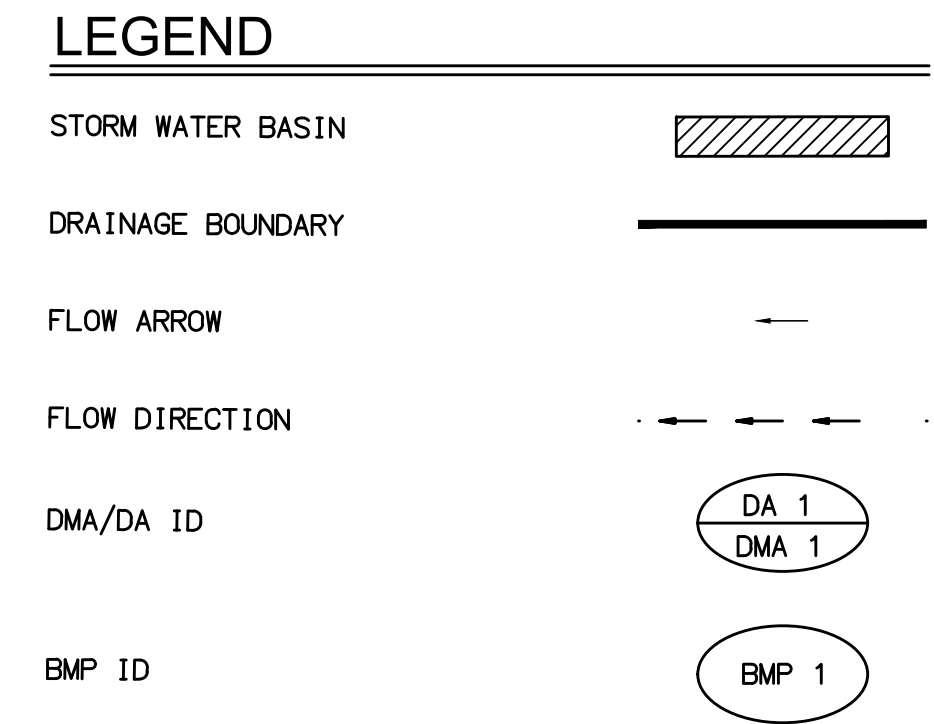
Sheet: **C2.02**

CITY OF REDLANDS

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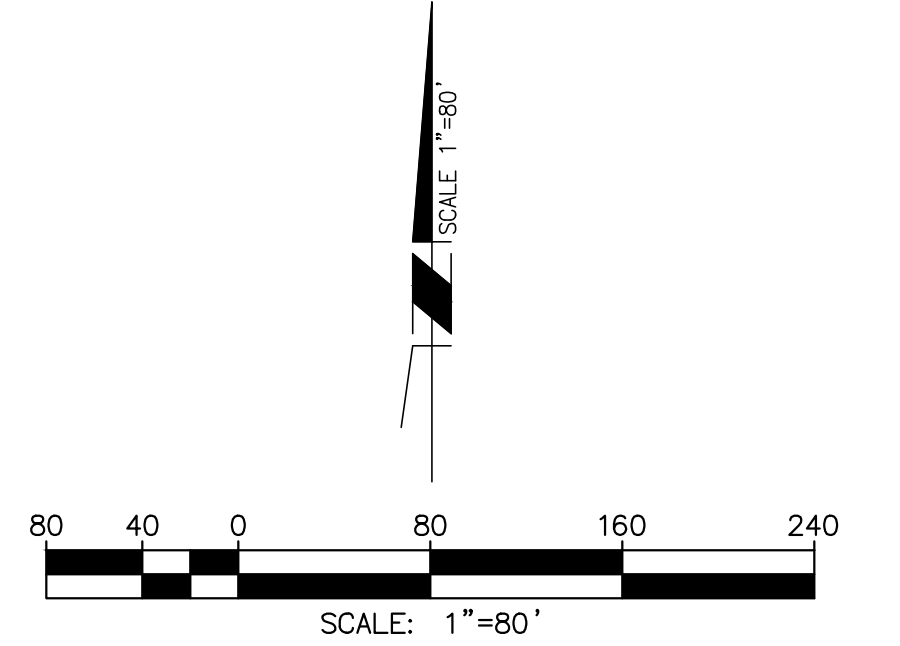


VICINITY MAP
N.T.S.



TYPICAL BIO-RETENTION BASIN DETAIL
SCALE: NOT TO SCALE

DA	DMA	TOTAL AREA (SF)	IMPERVIOUS RATIO	DMA RUNOFF FACTOR	DESIGN CAPTURE VOLUME (CF)	BMP PROPOSED SURFACE AREA (SF)	VOLUME RETAINED BY BMP (CF)	BMP TYPE
1	A1	627,670	70%	0.49	35,967	22,232	51,689	BIORETENTION WITH NO UNDERDRAIN
1	B	114,563	85%	0.66	8,790	4,200	9,765	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)
1	C	138,521	0%	0.04	643	N/A	N/A	SELF TREATING (NO EXISTING OR PROPOSED IMPERVIOUS AREA)
1	D	31,363	0%	0.04	146	N/A	N/A	SELF TREATING (NO EXISTING OR PROPOSED IMPERVIOUS AREA)
1	E	412,513	85%	0.66	31,649	14,000	32,550	BIORETENTION WITH NO UNDERDRAIN
2	A2	117,176	85%	0.66	8,990	6,035	14,031	BIORETENTION WITH NO UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)



**SITE PHASING - 1
BMP PLAN**

SEPTEMBER 09, 2022

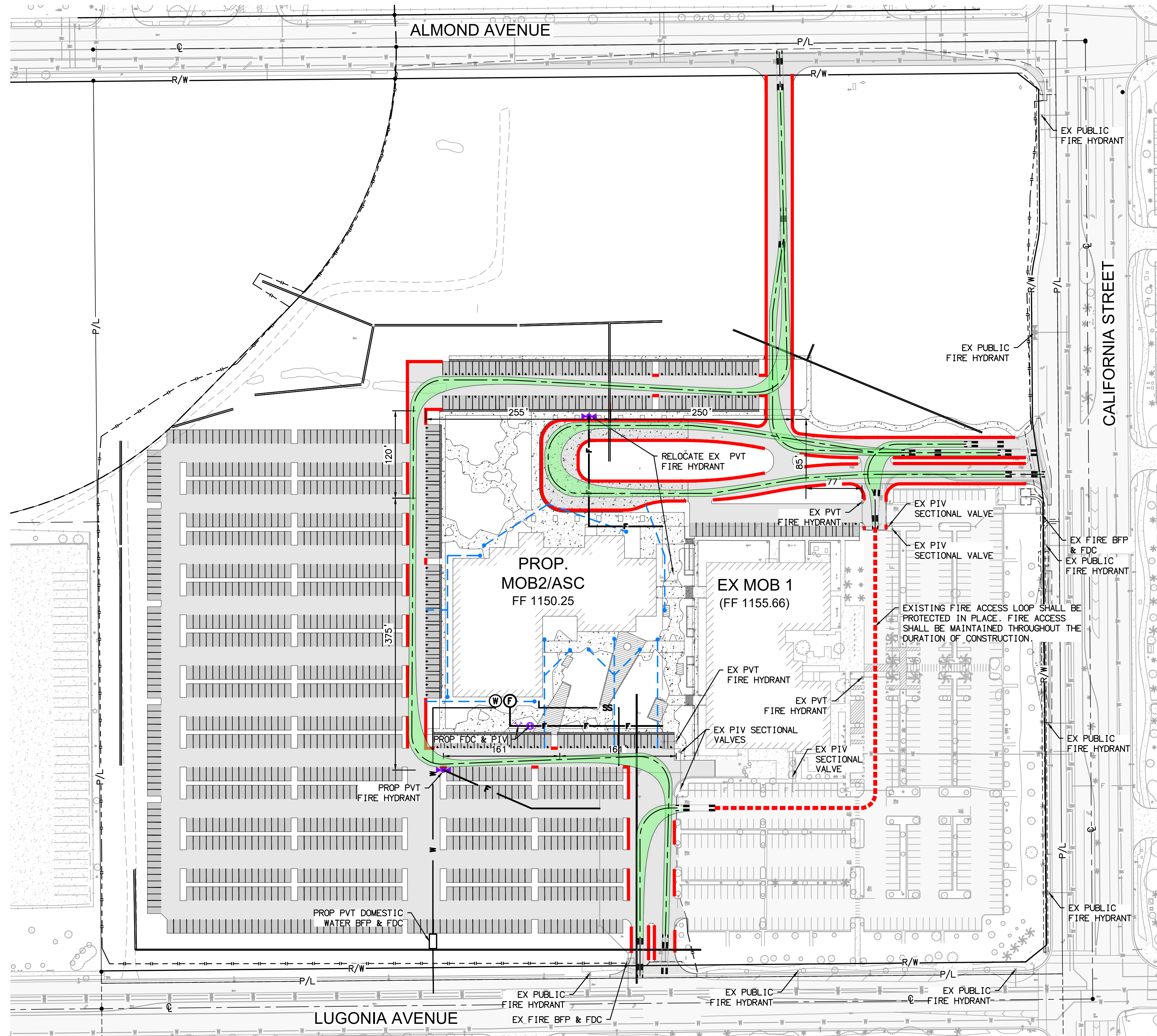


REDLANDS MEDICAL CENTER

Sheet: **C2.03**

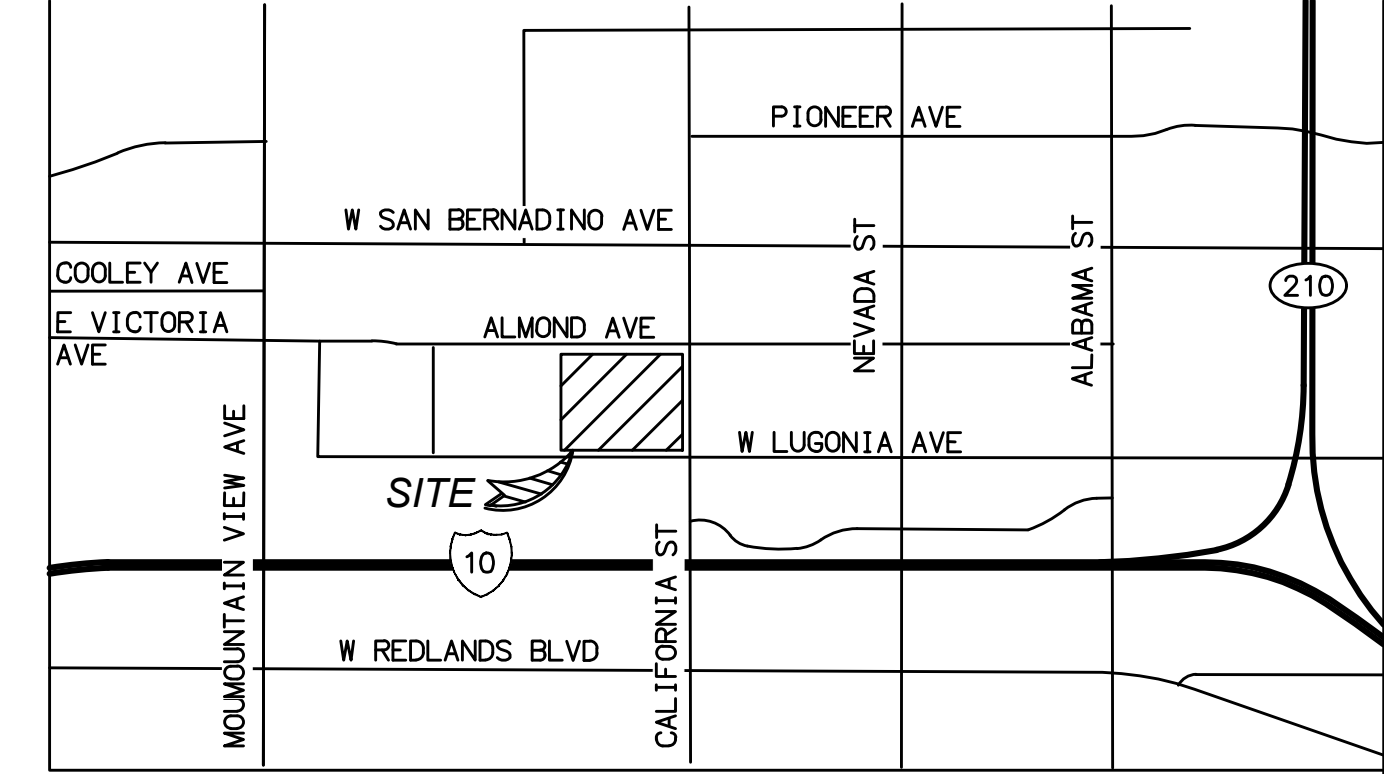
CITY OF REDLANDS

Site Development Plan Number:
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 393 E. Walnut Street Pasadena, CA 91108
 ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect) LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
 ZONE: CR ZONE



FIRE PROTECTION LEGEND

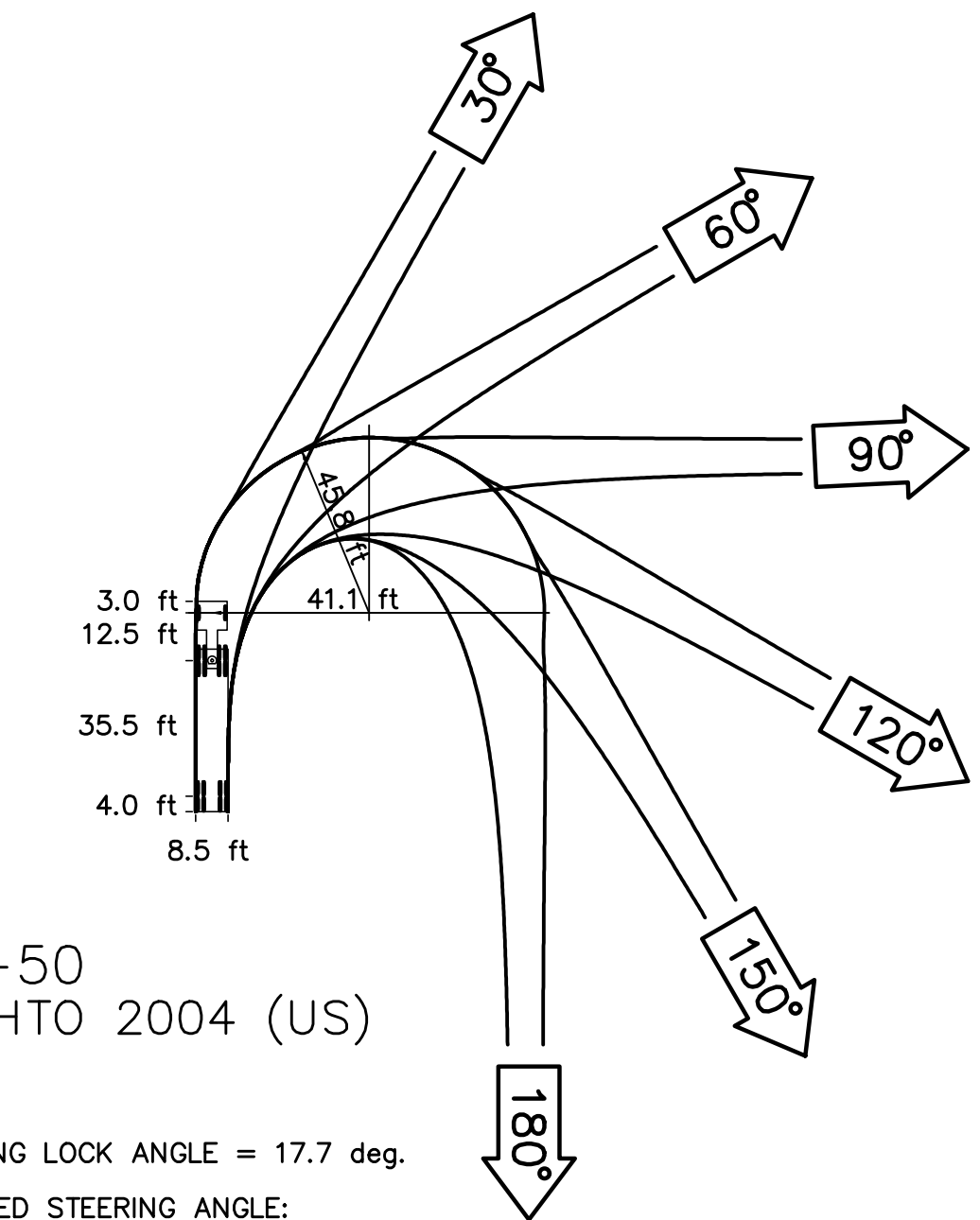
- PROPOSED FIRE HYDRANT
- PROPOSED PIV
- PROPOSED FDC
- PROPOSED FIRE MAIN
- HOSE PULL (150' MAX)
- RED PAINTED CURB
- FIRE TRUCK TURNING MOVEMENT
- EXISTING FIRE HYDRANT
- EXISTING PIV
- EXISTING FDC
- EXISTING FIRE MAIN
- EXISTING FIRE ROUTE



VICINITY MAP
N.T.S.

FIRE NOTES

1. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4
2. STREET OR ROAD SIGNS - TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. CFC 505.2
3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3
4. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
5. CLEAR SPACE AROUND HYDRANTS - A THREE (3) FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED. CFC 507.5.5
6. PHYSICAL PROTECTION - WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION 312. CFC 507.5.6
7. DEAD ENDS - DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. CFC 503.2.5
8. SECURITY GATES - WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM G 2200.
9. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OF BUILDING FEATURES SHALL NO OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
10. APPROVED DOCUMENTS - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. CFC 105.4.4



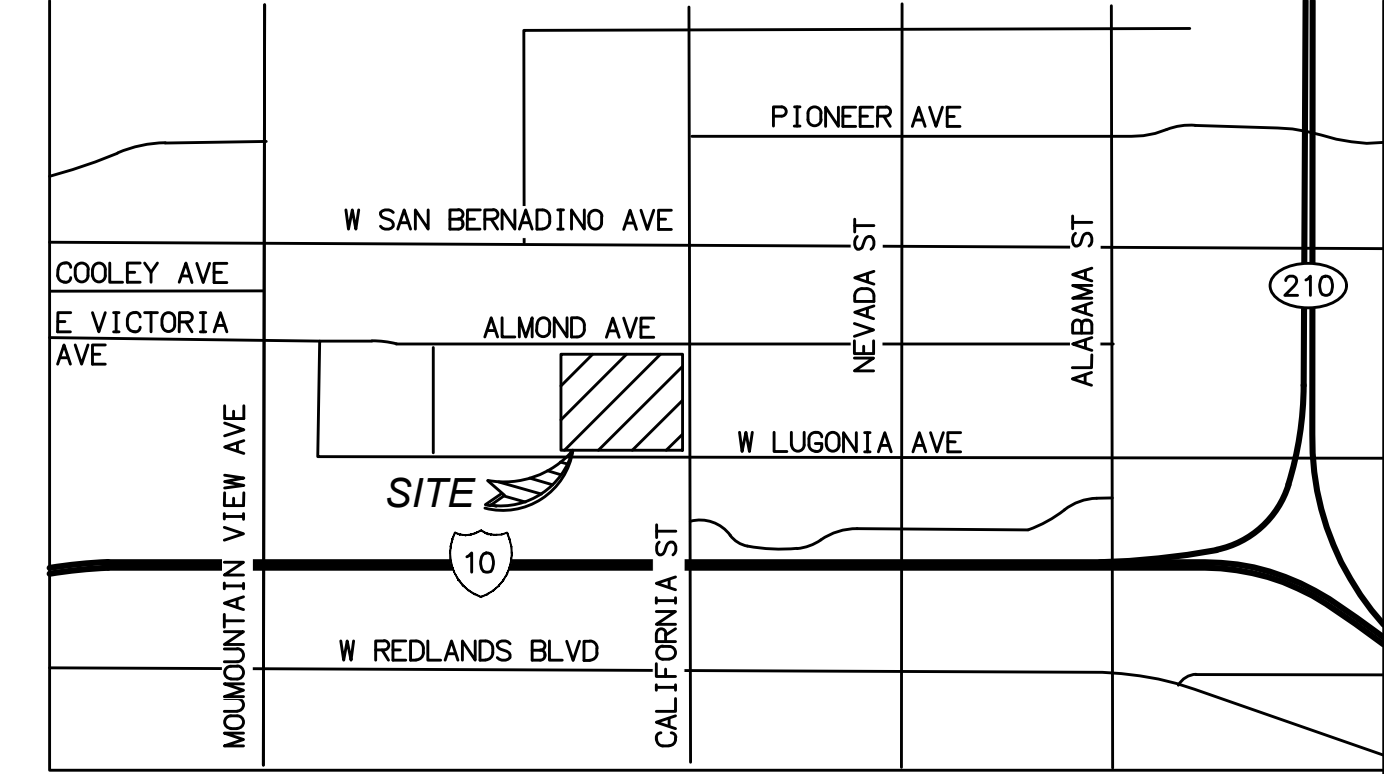
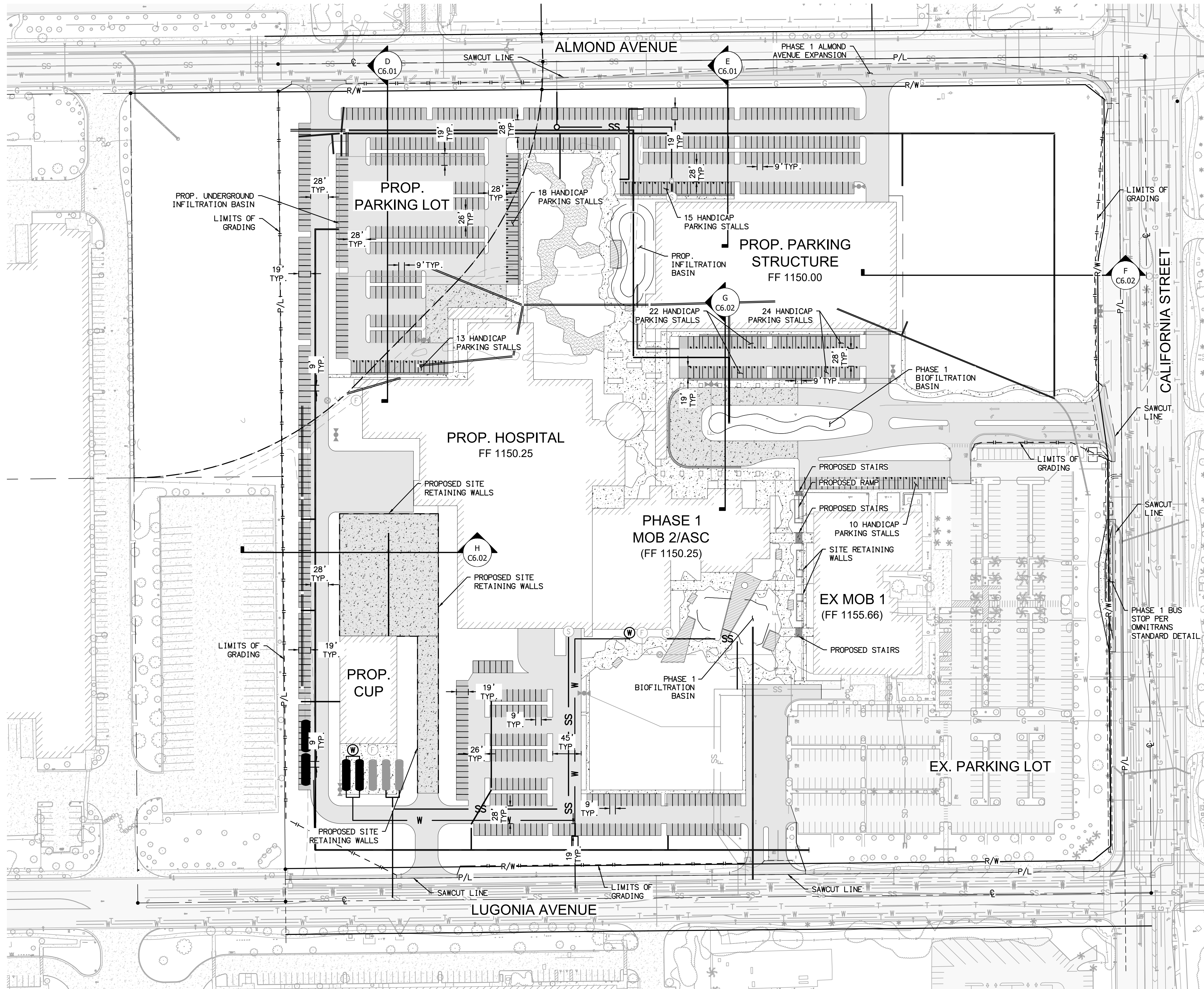
WB-50

feet	
Tractor Width	: 8.00
Tractor Track	: 8.00
Trailer Width	: 8.50
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 17.7
Articulating Angle	: 70.0

TABLE OF FIRE-FLOW & FIRE HYDRANT REQUIREMENTS FOR BUILDINGS

BUILDING	OCCUPANCY CLASS (CBC-CH.3)	CONSTRUCTION TYPE (CBC-CH.6)	SQUARE FOOTAGE CALC (SF)	AUTO SPRINKLER SYS. (Y/N/PART)	FIRE FLOW (GPM) (CFC-B105.2)	REDUCED FIRE FLOW (GPM) (CFC-B105.2)	FLOW DURATION @ REDUCED FLOW (HR) (CFC-B105.2)	MIN. NO. FIRE HYDRANTS (FH) (CFC-C102.1)	REQUIRED AVG. FH SPACING (FT) (CFC-C102.1)	PROPOSED AVG. FH SPACING (FT)	MAX SPACING ACCESS ROAD TO FH (FT) (CFC-C102.1)
PROP MOB	B	1A	165,000 *	Y	4,500 *	1,125 **	2	1	750 ***	357	375 ***

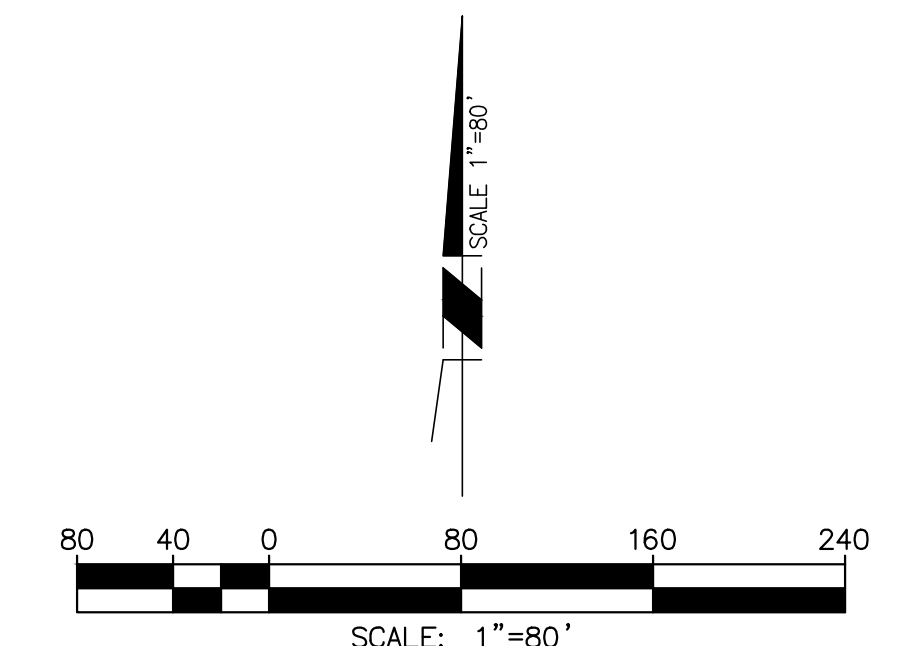
* - FOR TYPE 1A & 1B CONSTRUCTION, SQUARE FOOTAGE CALC FOR OPEN PARKING GARAGE SHALL BE DETERMINED BY AREA OF LARGEST FLOOR (CFC-B104.3)
 ** - REDUCED FIRE FLOW SHALL NOT BE LESS THAN 1,000 GPM (CFC-B105.2)
 *** - 50% SPACING INCREASE FOR BUILDINGS EQUIPPED THROUGHOUT WITH APPROVED AUTO SPRINKLER SYSTEM IN ACCORDANCE WITH CFC-903.3.1.1 (CFC-C102.1)



VICINITY MAP
N.T.S.

LEGEND

RIGHT OF WAY	---
PROPERTY LINE	---
CURB AND GUTTER	---
AC PAVEMENT	▨
HEAVY VEHICULAR AC PAVEMENT	▨
HEAVY VEHICULAR CONCRETE PAVEMENT	▨
PEDESTRIAN CONCRETE PAVEMENT	▨
DG PATH	▨
PROPOSED BUILDING	▨
TRUNCATED DOMES	▨
LIMITS OF WORK LINE	---



SITE PHASING - 2
SITE PLAN

SEPTEMBER 09, 2022



REDLANDS MEDICAL CENTER

Sheet: **C3.00**

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 303 E Walnut Street Pasadena, CA 91108
ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
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