Attachment A



Attachment B



Attachment C

TENTATIVE PARCEL MAP No. 20185 CITY OF REDLANDS, CALIFORNIA APN 0173-231-05 (301 WEST PALM AVENUE)

APPLICANT

DIVERSIFIED PACIFIC COMMUNITIES 10621 CIVIC CENTER DRIVE RANCHO CUCAMONGA, CA 91730 PH: (909) 481-1150 FAX: (909) 481-1151

CIVIL ENGINEER

HICKS & HARTWICK, INC. 37 EAST OLIVE AVE, SUITE (REDLANDS, CA 92373 PH: (909) 793–2257

MAP PREPARED BY:





GENERAL NOTES

- TOTAL PROJECT GROSS AREA: 383,773 SF (8.81 AC)
 PROJECT CONSISTS OF APN: 0173-231-05
 NUMBER OF PARCELS: 4
- 4. DATE PREPARED: 11-15-195. NET DEVELOPMENT AREA: 383,736 SF (8.81 AC)

REQUIREMENTS FOR PARCEL MAPS

- PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019)
- 1A. DATE OF MAP PREPARATION: 10-01-2019
 1B. NORTH ARROW DELINEATED ON MAP AS REQUIRED
- 1C. SCALE USED: 1"= 50'1D. ADJACENT SUBDIVISION INFO: DELINEATED ON MAP AS REQUIRED
- INFORMATION DELINEATED ON MAP AS REQUIRED
 EASEMENTS AND RIGHTS OF RECORD PER PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY, NO. 7101407137-DA DATED 10-23-2018.
- 4-10. DELINEATED ON MAP AS REQUIRED

 11. STATEMENT AS TO THE INTENTION IN REGARD TO SLOPE PLANTING AND
- EROSION CONTROL: N/A 12. VICINITY MAP: DELINEATED ON MAP
- 13. CONTOUR INTERVAL: 1' CONTOURS

 14. ALL EXISTING STRUCTURES AND TREES TO BE REMOVED: DELINEATED ON
- MAP AS REQUIRED

 15A. LOCATION OF ALL AREAS OF POTENTIAL STORMWATER OVERFLOW; THE
- LOCATION, WIDTH AND DIRECTION OF FLOW: DELINEATED ON MAP

 15B. FEMA PANEL: PANEL 8716 OF 9400 PER FLOOD INSURANCE RATE
 MAP: 06071C8716H, AUGUST 28, 2008
- AREA DESIGNATION: ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)

EXHIBIT REQUIREMENTS - PART ONE

- PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019)

 1. INDEX MAP ON ALL SHEETS: DOES NOT APPLY

 2. NAME AND ADDRESS OF OWNER/APPLICANT/MAP PREPARER: DELINEATED ON MAP AS REQUIRED
- 3. ACREAGE, NORTH ARROW, VICINITY MAP, DATE OF PREPARATION: DELINEATED ON MAP AS REQUIRED
- 4. EXISTING STRUCTURES AND FEATURES SUCH AS WALLS, BUILDING, AND TREES: DELINEATED ON MAP AS REQUIRED
- 5. DIMENSIONS AND PROPERTY LINES FOR EACH LOT: DELINEATED ON MAP
- AS REQUIRED

 6. NAMES OF ADJOINING SUBDIVISIONS AND LANDOWNERS AND ABUTTING LAND

 USES: DELINEATED ON MAP AS REQUIRED
- LANDS DEDICATED FOR PUBLIC USE: DELINEATED ON MAP AS REQUIRED
 POINTS OF INGRESS AND EGRESS: PALM AVENUE & ALVARADO STREET
 PRELIMINARY GRADING, INCLUDING PAD ELEVATIONS AND FLOW LINES WITH LOCATION OF ALL CUT AND FILL SLOPES IDENTIFIED: DELINEATED ON MAP AS REQUIRED

EXHIBIT REQUIREMENTS - PART TWO PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019)

- PUBLIC WORKS REQUIREMENTS FOR SITE PLANS

 1. LOCATIONS, NAME, AND WIDTH OF STREETS AND ADJACENT STREETS ALSO
- SHOW WIDTH OF ALLEYS IF APPLICABLE: DELINEATED ON MAP AS REQUIRED

 2. PROPOSED STREET GRADES AND GRADES FOR STREETS 100 FEET BEYOND
- APPLICANTS PROPERTY: DELINEATED ON MAP AS REQUIRED.
- 3. CROSS SECTION OF PROPOSED STREET IMPROVEMENTS IF DIFFERENT FROM STANDARD: DELINEATED ON MAP AS REQUIRED.
- 4. LOCATION, DIMENSION, AND PURPOSE OF ANY EASEMENT ON AND ADJACENT
- TO PROJECT SITE: DELINEATED ON MAP AS REQUIRED.

 5. LOCATION OF EXISTING PUBLIC UTILITIES, CULVERTS, DRAIN PIPES, AND
- WATER COURSES: DELINEATED ON MAP AS REQUIRED.

 6. APPROXIMATE RADIUS OF CURVES: DELINEATED ON MAP AS REQUIRED.
- APPROXIMATE RADIUS OF CURVES: DELINEATED ON MAP AS REQUIRED.
 TOPOGRAPHICAL DATA TO MAKE CLEAR THE EFFECT OF THE PROPOSAL 2'
 CONTOURS AT GRADES 5% OR LESS, 5' CONTOURS AT GRADES OF MORE
 THAN 5%. SOURCE OF THE CONTOURS SHALL BE STATED ON MAP:

BENCH MARK

CITY OF REDLANDS BENCH MARK R-82. BRASS DISK IN TOP OF CURB AT THE SE CORNER OF CAJON STREET AND PALM AVENUE, EAST END OF RETURN. ELEVATION = 1317.581

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS DERIVED FROM THE CENTERLINE OF PALM AVENUE SHOWN AS N56'20'00"E ON TRACT NO. 6640, MB 84/6-7.

SEWER: CITY OF REDLANDS

REDLANDS, CA 92375-0903

P.O. BOX 6905

(909) 798-7516

TOPOGRAPHIC MAP NOTE

DELINEATED ON MAP AS REQUIRED.

TOPOGRAPHIC MAP PREPARED BY: INLAND AERIAL SURVEYS, INC.

SOILS ENGINEER / GEOLOGIST

GEOTECHNICAL INVESTIGATION CONDUCTED BY: PETRA GEOSCIENCES INC. JOB NO. 18-430, DATED FEBRUARY 15, 2019

PUBLIC UTILITY COMPANIES

GAS:
SOUTHERN CALIFORNIA GAS CO.
1981 W. LUGONIA AVENUE
REDLANDS, CA 92374-9720
(800) 427-2200
WATER:
CITY OF REDLANDS
P.O. BOX 6905
REDLANDS, CA 92375-0903
(909) 798-7516

CITY OF REDLANDS
P.O. BOX 6905
REDLANDS, CA 92375-0903
(909) 798-7516
RECTRIC:
SOUTHERN CALIFORNIA EDISON CO. 287 TENNESSEE STREET
REDLANDS, CA 92373
(909) 307-6731

TIME WARNER CABLE
1722 ORANGE TREE LANE
REDLANDS, CA 92373
(909) 793-2321

TELEPHONE:
VERIZON INC.
1500 CRAFTON AVENUE
MENTONE, CA 92359
(909) 307-6731
(909) 794-8210

EASEMENTS AND RIGHTS

EASEMENTS AND RESTRICTIONS OF RECORD UNDER TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, DATED OCTOBER 23, 2018, ORDER NO. 7101407137—DA

EASEMENTS AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVED IN THE FOLLOWING INSTRUMENTS:

THE TENTH OF THE TO THE TENTH OF THE TENTH O

RECORDING DATE : FEBRUARY 24, 1882
RECORDING NO. : BOOK 28, PAGE 233 OF DEEDS, AND BOOK 29, PAGE 65 OF DEEDS
NOTES : EASEMENT CANNOT BE LOCATED FROM RECORD

LEGAL DESCRIPTION

LOT 7, BLOCK "K", ACCORDING TO MAP OF ADDITION NO. 7 TO THE SECOND PRELIMINARY MAP OF REDLANDS, IN THE CITY OF REDLANDS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 5 OF MAPS, PAGE 8, RECORDS OF SAID COUNTY

ADJACENT PROPERTY OWNERS

01.	0173-242-01 BENTON REVOCABLE LIVING TRUST		0173-242-08 LOCKWOOD, LESLIE	03.	0173-242-09 CHAPARRO, GUSTAVO	04.	0173-242-10 WALCK, ELLIZABETH LIVING TRUST		0173-242-17 O DONNELL TRUST
06.	0173-242-18 NEWBERRY FAMILY TRUST		0173-231-12 DEDOES, MATTHEW	08.	0173-231-13 CONREY TRUST	09.	0173-231-17 CARLSON FAMILY TRUST	10.	0173-231-18 SWEET, STUART
11.	0173-231-09 STRUNK, TIMOTHY	12.	0173-222-10 STEWARD, JOHN	13.	0173-222-09 ALVAREZ, SERGIO	14.	0173-221-17 DEAN, CHRISTOPHER & JOYCE	15.	0173-221-18 COLE, MARY ELIZABETH LIVING TRUST
16.	0173-221-07 CAMP COLE FAMILY TRUST		0173-151-35 JOHNSON, GREG R & DJ LEEPER-JOHNSON		0173-151-62 MCGLOIN FAMILY TRUST		0173-152-03 MELZER, ERICH & MARJORIE	20.	0173-152-02 SWARM, ORVAL & MARJORIE
21.	0173-152-01 LANDRETH, JAMES LIVING TRUST								

SLOPE PLANTING AND EROSION CONTROL NOTE

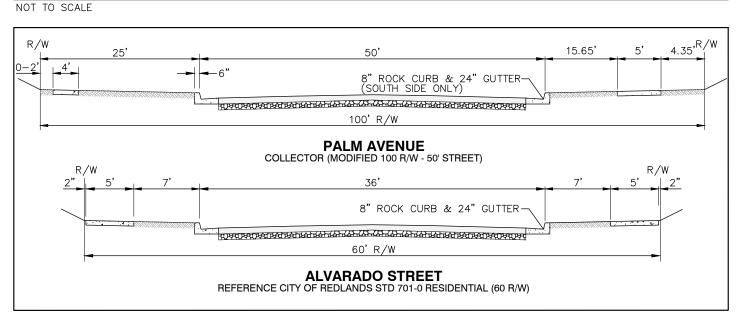
FACES OF FINISHED CUT AND FILL SLOPES SHALL BE PREPARED AND MAINTAINED TO CONTROL AGAINST EROSION. DEVELOPER INTENDS TO PROVIDE ADEQUATE EROSION CONTROL AND PROTECTION FOR THE SLOPES PER CALIFORNIA SWPPP AND WATER QUALITY STANDARDS

LEGEND ABBREVIATIONS

	CONTOUR	CB CONC	CATCH BASIN CONCRETE	NTS HP	NOT TO SCALE HIGH POINT
	LT PAVEMENT	CONSTR CLF DWY	CONSTRUCTION CHAIN LINK FENCE DRIVEWAY	REF REV S'LY	REFERENCE REVISED SOUTHERLY
EXISTIN	NG STRUCTURE	ELEV EG	ELEVATION EXISTING GRADE	ST SW TC	STREET SIDEWALK TOP OF CURB
C. S. C.	S TREE LINK FENCE	EX FG FH	EXISTING FINISH GRADE FIRE HYDRANT	TD TG	TOP OF DIKE TOP OF GRATE
	VIRE FENCE	F/L GB	FLOWLINE GRADE BREAK	TF TFE TW	TOP OF FOOTING TOP OF FENCE ELEVATION TOP OF WALL
· · · · · · · ·	NG OVERHEAD UTILITY LINES NG WATER MAIN (SIZE AS SHOWN)	HP INV MIN	HIGH POINT INVERT MINIMUM	TRW O.C.	TOP OF RETAINING WALL ON CENTER
, ,	NG SEWER (SIZE AS SHOWN) NG FIRE HYDRANT	MAX NG	MAXIMUM NATURAL GROUND	W'LY W/ WV	WESTERLY WITH WATER VALVE
(, ,)	NG POWER POLE DSED LED STREET LIGHT	RW PAE PL	RIGHT OF WAY PUBLIC ACCESS EASEMENT PROPERTY LINE		

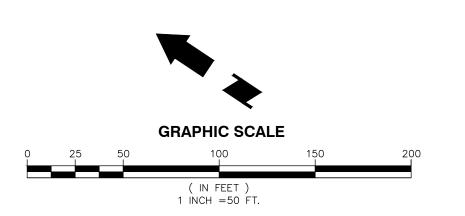
TYPICAL STREET SECTIONS

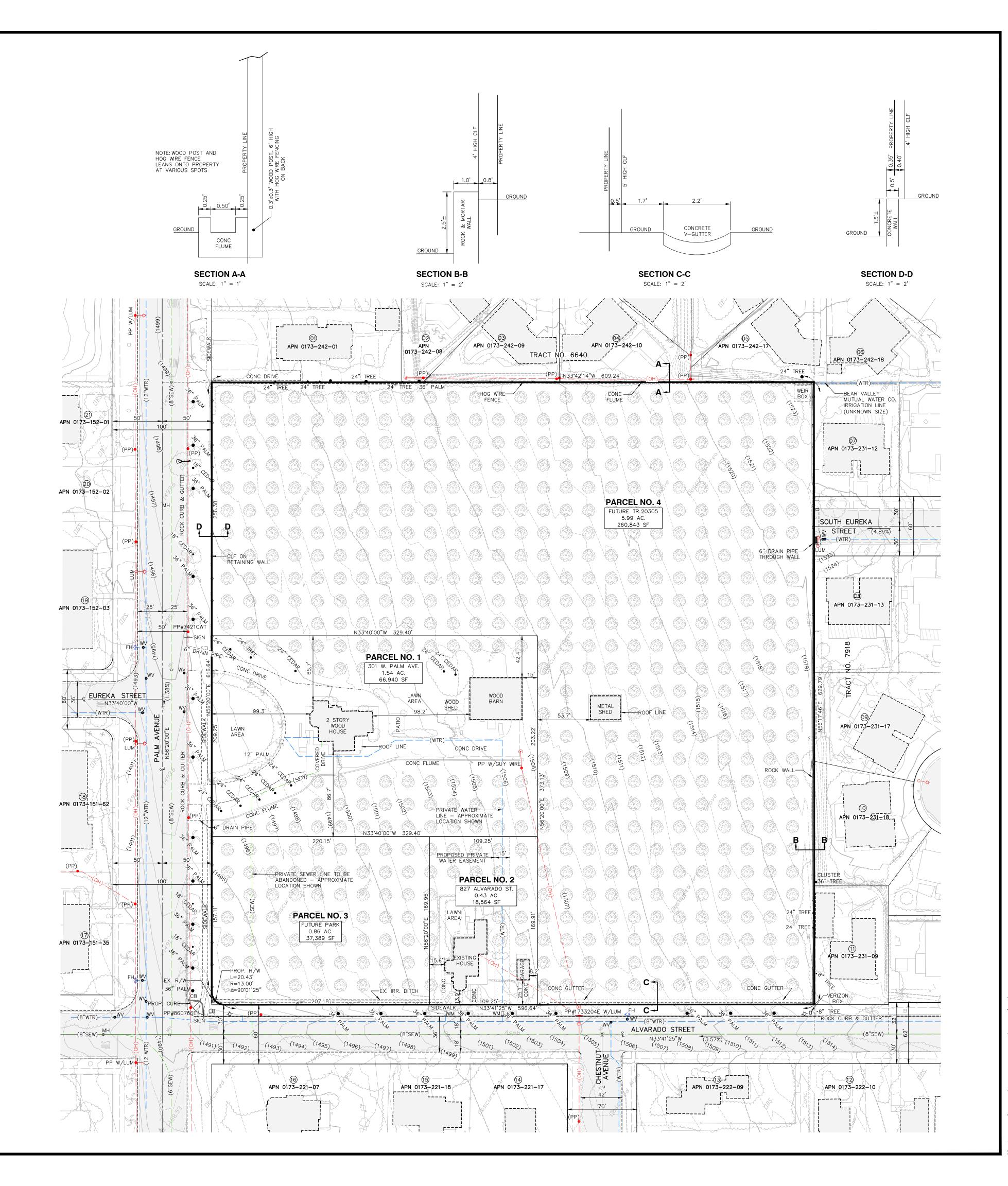
PROPOSED ACORN STREET LIGHT



VICINITY MAP







Attachment D

APN 0173-242-18

APN 0173-231-12

SOUTH EUREKA

STREET

N33°42'08"W

—(WTR)—

APN 0173-231-17

APN 0173-231-09

APN 0173-222-10

—(8"WTR)-

SHEET INDEX

APN 0173-242-17

10,447 SF

6,644 SF

7,157 SF

7,182 SF

__LOT D___2,104 SF<

APN 0173-222-09

7,208 SF

N33°42'14"W 609.24'

6,783 SF

6.812 SF

RETAINING WALK

PROPOSED PRIVATE WATER EASEMENT

18,564 SF

APN 0173-221-18

~6,812 SF

7,656 SF

♥ॐUNDERGŔOUNDED

6,389 SF

-_LOT `C---

ALVARADO STREET

APN 0173-221-17

__1.853 SF

(3.57%)

-6,778 SF

6,812 SF

₹6,812 SF

6.693 SF

6,812 SF

PARCEL 1

7,121 SF

DIVERSIFIED PACIFIC COMMUNITIES 10621 CIVIC CENTER DRIVE RANCHO CUCAMONGA, CA 91730 PH: (909) 481-1150

FAX: (909) 481-1151 **CIVIL ENGINEER** HICKS & HARTWICK INC

37 EAST OLIVE AVE, SUITE (REDLANDS, CA 92373 PH: (909) 793-2257

MAP PREPARED BY:





GENERAL NOTES

- 1. TOTAL PROJECT GROSS AREA: 383,773 SF (8.81 AC) (INCLUDES TPM NO. 20185) 2. PROJECT CONSISTS OF APN: 0173-231-05 3. NUMBER OF LOTS: 30
- 4. DATE PREPARED: 04-13-2020 5. NET DEVELOPMENT AREA: 383,736 SF (8.81 AC) (INCLUDES TPM NO. 20185) (SEE PROJECT AREA CALCULATIONS BELOW)
- 6. REQUIRED OPEN SPACE: (20.00%) 76,748 SF (1.76 AC) 7. OPEN SPACE PROVIDED: (27.19%) 104,329 SF (2.40 AC)
- 8. OPEN SPACE LOTS/PARCELS: A-D & PCL. 1&3 OF TPM NO. 20185 9. COVERAGE OF PLANNED RESIDENTIAL DEVELOPMENT STRUCTURES: 2.20 AC (24.90%) - USING NET DEVELOPMENT AREA

REQUIREMENTS FOR TRACT MAPS

- PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019)
- 1A. DATE OF MAP PREPARATION: 04-13-2020 1B. NORTH ARROW DELINEATED ON MAP AS REQUIRED
- 1D. ADJACENT SUBDIVISION INFO: DELINEATED ON MAP AS REQUIRED 2. INFORMATION DELINEATED ON MAP AS REQUIRED
- 3. EASEMENTS AND RIGHTS OF RECORD PER PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY, NO. 7101407137-DA
- DATED 10-23-2018. 4-10. DELINEATED ON MAP AS REQUIRED 11. STATEMENT AS TO THE INTENTION IN REGARD TO SLOPE PLANTING AND
- EROSION CONTROL: DELINEATED ON MAP 12. VICINITY MAP: DELINEATED ON MAP 13. CONTOUR INTERVAL: 1' CONTOURS
- 14. ALL EXISTING STRUCTURES AND TREES TO BE REMOVED: DELINEATED ON 15A. LOCATION OF ALL AREAS OF POTENTIAL STORMWATER OVERFLOW; THE
- LOCATION, WIDTH AND DIRECTION OF FLOW: DELINEATED ON MAP 15B. FEMA PANEL: PANEL 8716 OF 9400 PER FLOOD INSURANCE RATE MAP: 06071C8716H, AUGUST 28, 2008
- AREA DESIGNATION: ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)

EXHIBIT REQUIREMENTS - PART ONE PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019)

- 1. INDEX MAP ON ALL SHEETS: DOES NOT APPLY
- 2. NAME AND ADDRESS OF OWNER/APPLICANT/MAP PREPARER: DELINEATED
- 3. ACREAGE, NORTH ARROW, VICINITY MAP, DATE OF PREPARATION: DELINEATED ON MAP AS REQUIRED 4. EXISTING STRUCTURES AND FEATURES SUCH AS WALLS, BUILDING, AND TREES:
- DELINEATED ON MAP AS REQUIRED 5. DIMENSIONS AND PROPERTY LINES FOR EACH LOT: DELINEATED ON MAP
- 6. NAMES OF ADJOINING SUBDIVISIONS AND LANDOWNERS AND ABUTTING LAND
- USES: DELINEATED ON MAP AS REQUIRED 7. LANDS DEDICATED FOR PUBLIC USE: DELINEATED ON MAP AS REQUIRED 8. POINTS OF INGRESS AND EGRESS: PALM AVENUE
- 9. PRELIMINARY GRADING, INCLUDING PAD ELEVATIONS AND FLOW LINES ON MAP AS REQUIRED

EXHIBIT REQUIREMENTS - PART TWO

- PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019) PUBLIC WORKS REQUIREMENTS FOR SITE PLANS 1. LOCATIONS, NAME, AND WIDTH OF STREETS AND ADJACENT STREETS ALSO
- SHOW WIDTH OF ALLEYS IF APPLICABLE: DELINEATED ON MAP AS REQUIRED 2. PROPOSED STREET GRADES AND GRADES FOR STREETS 100 FEET BEYOND
- APPLICANTS PROPERTY: DELINEATED ON MAP AS REQUIRED. 3. CROSS SECTION OF PROPOSED STREET IMPROVEMENTS IF DIFFERENT FROM
- STANDARD: DELINEATED ON MAP AS REQUIRED. 4. LOCATION, DIMENSION, AND PURPOSE OF ANY EASEMENT ON AND ADJACENT TO PROJECT SITE: DELINEATED ON MAP AS REQUIRED.
- 5. LOCATION OF EXISTING PUBLIC UTILITIES, CULVERTS, DRAIN PIPES, AND
- WATER COURSES: DELINEATED ON MAP AS REQUIRED. 6. APPROXIMATE RADIUS OF CURVES: DELINEATED ON MAP AS REQUIRED.
- 7. TOPOGRAPHICAL DATA TO MAKE CLEAR THE EFFECT OF THE PROPOSAL 2' CONTOURS AT GRADES 5% OR LESS, 5' CONTOURS AT GRADES OF MORE THAN 5%. SOURCE OF THE CONTOURS SHALL BE STATED ON MAP: DELINEATED ON MAP AS REQUIRED.

BENCH MARK

CITY OF REDLANDS BENCH MARK R-82. BRASS DISK IN TOP OF CURB AT THE SE CORNER OF CAJON STREET AND PALM AVENUE, EAST END OF RETURN.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS DERIVED FROM THE CENTERLINE OF PALM AVENUE SHOWN AS N56°20'00"E ON TRACT NO. 6640, MB 84/6-7.

TOPOGRAPHIC MAP NOTE

SOILS ENGINEER / GEOLOGIST

GEOTECHNICAL INVESTIGATION CONDUCTED BY: PETRA GEOSCIENCES INC. JOB NO. 18-430, DATED FEBRUARY 15, 2019

P.O. BOX 6905

TIME WARNER CABLE

REDLANDS, CA 92373 (909) 793-2321

1500 CRAFTON AVENUE

MENTONE, CA 92359

(909) 794-8210

1722 ORANGE TREE LANE

CABLE:

TELEPHONE:

VERIZON INC.

REDLANDS, CA 92375-0903

TOPOGRAPHIC MAP PREPARED BY: INLAND AERIAL SURVEYS, INC.

PUBLIC UTILITY COMPANIES

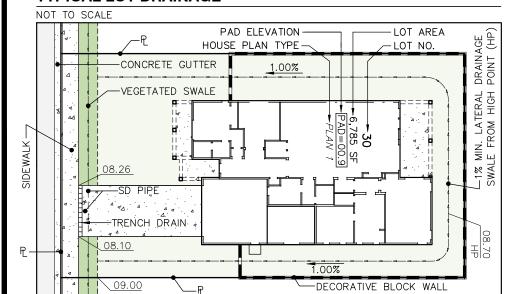
SOUTHERN CALIFORNIA GAS CO. 1981 W. LUGONIA AVENUE REDLANDS, CA 92374-9720

CITY OF REDLANDS P.O. BOX 6905 REDLANDS, CA 92375-0903

SOUTHERN CALIFORNIA EDISON CO. 287 TENNESSEE STREET REDLANDS, CA 92373

(909) 307-6731

TYPICAL LOT DRAINAGE



EASEMENTS AND RESTRICTIONS OF RECORD UNDER TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, DATED OCTOBER 23, 2018, ORDER EASEMENTS AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVED IN

THE FOLLOWING INSTRUMENTS: 1)—1. GRANTED TO REDLANDS WATER COMPANY PUBLIC UTILITIES AND INCIDENTAL PURPOSES

RECORDING DATE : BOOK 28, PAGE 233 OF DEEDS, AND BOOK 29, PAGE 65 OF DEEDS EASEMENT CANNOT BE LOCATED FROM RECORD

LEGAL DESCRIPTION

LOT 7, BLOCK "K", ACCORDING TO MAP OF ADDITION NO. 7 TO THE SECOND PRELIMINARY MAP OF REDLANDS, IN THE CITY OF REDLANDS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 5 OF MAPS, PAGE 8, RECORDS OF SAID COUNTY.

ADJACENT PROPERTY OWNERS

0	1. 0173—242—01 BENTON REVOCABLE LIVING TRUST		LOCKWOOD, LESLIE	03.	CHAPARRO, GUSTAVO	04.	WALCK, ELLIZABETH LIVING TRUST		0 DONNELL TRUST
0	6. 0173-242-18 NEWBERRY FAMILY TRUST	07.	0173-231-12 DEDOES, MATTHEW	08.	0173-231-13 CONREY TRUST	09.	0173-231-17 CARLSON FAMILY TRUST	10.	0173-231-18 SWEET, STUART
1	1. 0173-231-09 STRUNK, TIMOTHY	12.	0173-222-10 STEWARD, JOHN	13.	0173-222-09 ALVAREZ, SERGIO		0173-221-17 DEAN, CHRISTOPHER & JOYCE	15.	0173-221-18 COLE, MARY ELIZABETH LIVING TRUST
	6. 0173-221-07 CAMP COLE FAMILY TRUST	17.	0173-151-35 JOHNSON, GREG R & DJ LEEPER-JOHNSON		0173-151-62 MCGLOIN FAMILY TRUST		0173-152-03 MELZER, ERICH & MARJORIE	20.	0173-152-02 SWARM, ORVAL & MARJORIE

SLOPE PLANTING AND EROSION CONTROL NOTE

FACES OF FINISHED CUT AND FILL SLOPES SHALL BE PREPARED AND MAINTAINED TO CONTROL AGAINST EROSION. DEVELOPER INTENDS TO PROVIDE ADEQUATE EROSION CONTROL AND PROTECTION FOR THE SLOPES PER CALIFORNIA SWPPP AND WATER QUALITY STANDARDS

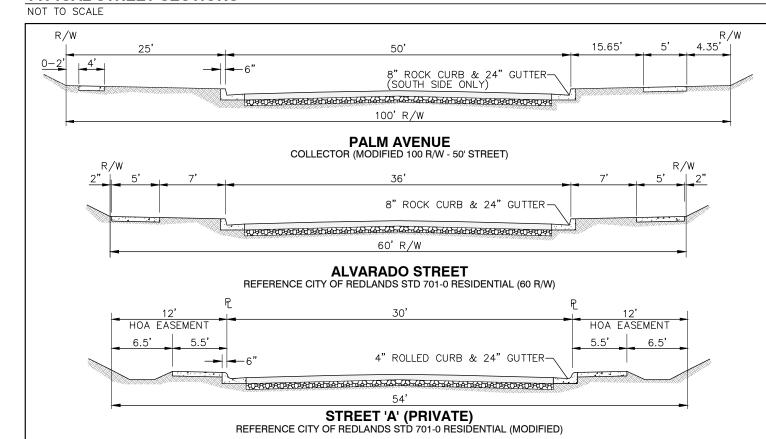
OWNERSHIP AND MAINTENANCE RESPONSIBILITY STATEMENT OWNERSHIP AND MAINTENANCE RESPONSIBILITY FOR THE PROJECT DEVELOPMENT PARTS ARE PROPOSED AS NOTED:

CITY OF REDLANDS

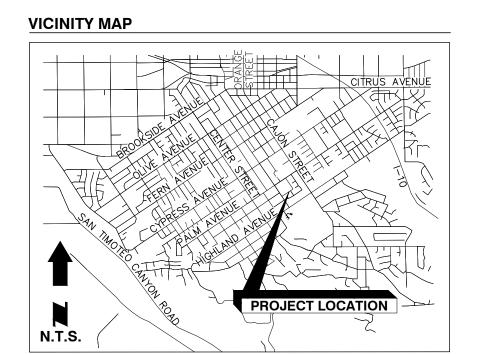
RESPONSIBLE PARTY HOME OWNER'S ASSOCIATION OPEN SPACE LOTS 'A'-'D' HOME OWNER'S ASSOCIATION STREET 'A' STORM DRAIN HOME OWNER'S ASSOCIATION PARCELS 1 & 2 LOT OWNERS LOT OWNERS PARCEL 3 - PUBLIC PARK CITY OF REDLANDS

TYPICAL STREET SECTIONS

STREET 'A' SEWER & WATER



LEGEND						ABBRE	VIATI	ONS	
EX. 5' CONTOUR	XX	LOT NUMBER				APN	ASSES	SSOR PARCE	L NUMBER
EX. 1' CONTOUR		LOT ADEA				Q.	CENTE	RLINE	
EX. 1 CONTOON	X,XXX SF	LOT AREA				DWY	DRIVE	WAY	
PROP. 5' CONTOUR	00.0	PAD ELEVATION	N			ELEV	ELEVA	TION	
PROP. 1' CONTOUR	WTR	- PROPOSED WA	TER MAIN (S	IZE AS SHOV	VNI)	EG		NG GRADE	
5	** 113	TROFOSED WA	ILI WAIN (5	IZL AS SHOW	viv)	EX	EXISTI		
DAYLIGHT LINE	SEW	- PROPOSED SE	WER (SIZE AS	S SHOWN)		FG		I GRADE	
PROP. WALL	——(WTR)—	EXISTING WATE	D MAINI (CIZ	E AC CHOWN	`	FL	FLOWL		
	(*****)	EXISTING WATE	K MAIN (SIZ	E AS SHOWN)	HP	HIGH		
	(SEW)	 EXISTING SEWE 	R (SIZE AS	SHOWN)		INV	INVER		
ASPHALT PAVEMENT			/2			MIN	MINIM		
	lol	EXISTING STOR	RM DRAIN (SI	ZE AS SHOW	N)	MAX NG		IUM RAL GROUND	
CONCRETE		- EXISTING UNDE	RGROUND U	TILITY AS SH	OWN	P P		RAL GROUND ERTY LINE	
V4 4	→ (PP)	EXISTING POWE	FR POLF			PROP	PROP		
OPEN SPACE &	- (11)	2/11011110 1 0111	-11 1 022			GB	GRADI	E BREAK	
LANDSCAPING	—(OH)—	 OVERHEAD UTI 	LITY LINES			HP	HIGH	POINT	
Y Y Y		PROPOSED FIR	F HYDRANT			R/W	RIGHT	OF WAY	
2:1 SLOPE OR LESS						REF	REFER	ENCE	
		PROPOSED STORM	DRM DRAIN F	PIPE		SD	STORM	/ DRAIN	
vegetated swale	\oplus	WATER VALVE				SW	SIDEW	ALK	
	+O+	EXISTING FIRE	HYDDANT			TC	TOP (F CURB	
CONSERVATION EASEMENT	TOT	LAISTING TINL	IIIDIANI			TF	TOP (F FOOTING	
CONSERVATION EASEMENT	 Ø	PROPOSED LED	STREET LIG	HT		TG	TOP (F GRATE	
EMERGENCY ACCESS &	¤	PROPOSED AC	ORN STREET	LIGHT		TW	TOP (F WALL	
UTILITY EASEMENT		THOI COLD THO	ONIT OTTLET	LIGITI		TRW	TOP (F RETAINING	WALL
		— FLOWLINE				W/	WITH		
CURVE TABLE									
(I) DELTA RADIUS LEN	IGTH (1)	DELTA	RADIUS	LENGTH	(I)	DEL	 ГА	RADIUS	LENGTH



PROJECT AREA CALCULATIONS

0.00 AC 37 SF PALM AVE: 8.81 AC 383,736 SF

0.01 /\d	300,700 01
LOT AREA	LOT USE
3,022 SF	OPEN SPACE
2,801 SF	OPEN SPACE
1,853 SF	OPEN SPACE
2,104 SF	OPEN SPACE
66,940 SF	EXISTING PALM AVENUE HOUSE (CONSERVATION EASEMENT
37,389 SF	PUBLIC PARK
09 SF (2.62 AC)	
EXCLUDED AREA	DESCRIPTION
9,780 SF	OPEN SPACE (NOT COMMON AREA)
AREA: 9,780 SF (0.22 AC)	
2.40 AC	104,329 SF
	LOT AREA 3,022 SF 2,801 SF 1,853 SF 2,104 SF 66,940 SF 37,389 SF 09 SF (2.62 AC) EXCLUDED AREA 9,780 SF AREA: 9,780 SF (0.22 AC)

APN 0173-152-01

APN 0173-152-02

APN 0173-152-03

<u>EUREKA STREET</u>

— -(WTR)- — →

APN 0173-151-62

-

(8"WTR)

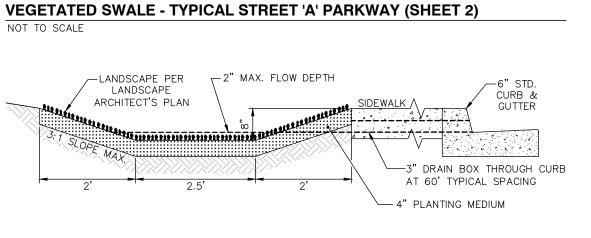
N33°40'00"W

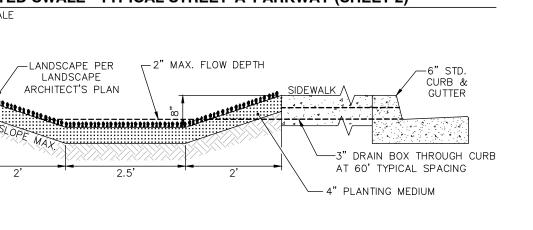
UNDERGROUNDED

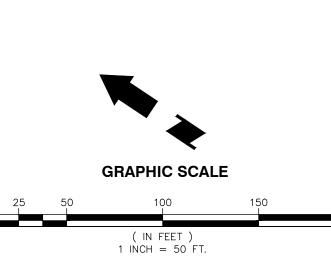
LOT NO.	LOT AREA	LOT COVERAGE	LOT NO.	LOT AREA	LOT COVERAGE
1	7,430 SF	2,795 SF	16	7,395 SF	3,112 SF
2	6,776 SF	3,112 SF	17	7,182 SF	2,795 SF
3	6,778 SF	3,452 SF	18	6,389 SF	2,795 SF
4	6,781 SF	3,112 SF	19	7,058 SF	3,112 SF
5	6,783 SF	3,452 SF	20	7,412 SF	3,452 SF
6	6,710 SF	3,112 SF	21	7,459 SF	3,112 SF
7	7,121 SF	2,795 SF	22	7,656 SF	3,452 SF
8	7,208 SF	2,795 SF	23	7,834 SF	3,452 SF
9	10,447 SF	3,452 SF	24	7,955 SF	3,452 SF
10	6,644 SF	2,795 SF	25	6,812 SF	3,112 SF
11	6,955 SF	3,112 SF	26	6,812 SF	3,452 SF
12	7,157 SF	3,452 SF	27	6,812 SF	3,452 SF
13	7,314 SF	3,112 SF	28	6,812 SF	3,112 SF
14	7,529 SF	3,452 SF	29	6,812 SF	3,452 SF
15	7,596 SF	3,452 SF	30	6,693 SF	2,795 SF
TOTAL LOT	COVERAGE AREA	A: 2.20) AC	95,561 SF	

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LOT COVERAGE



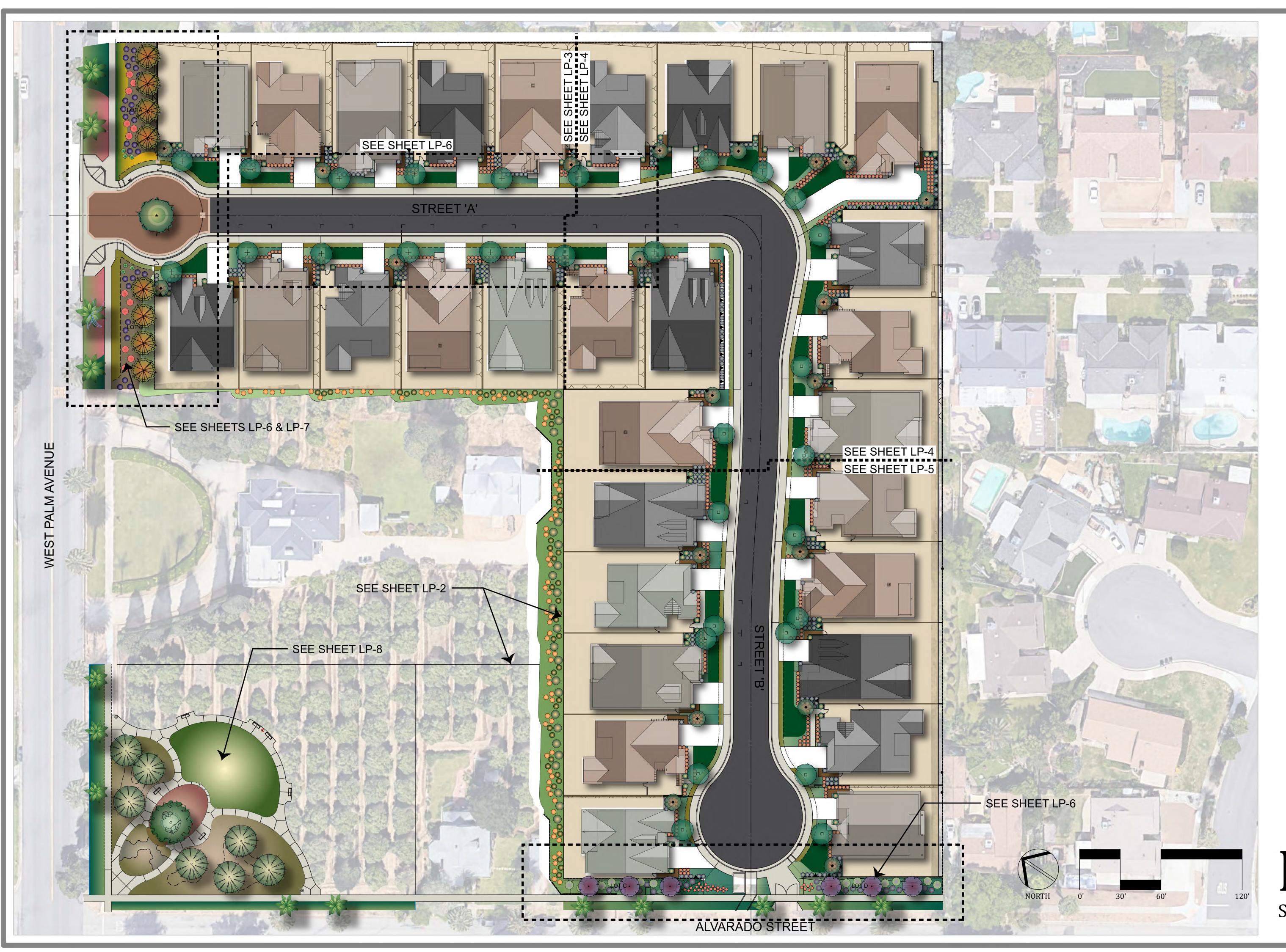




TENTATIVE TRACT MAP & GENERAL NOTES

PRELIMINARY GRADING & PLOT PLAN

Attachment E



SHEET 1 OF 8